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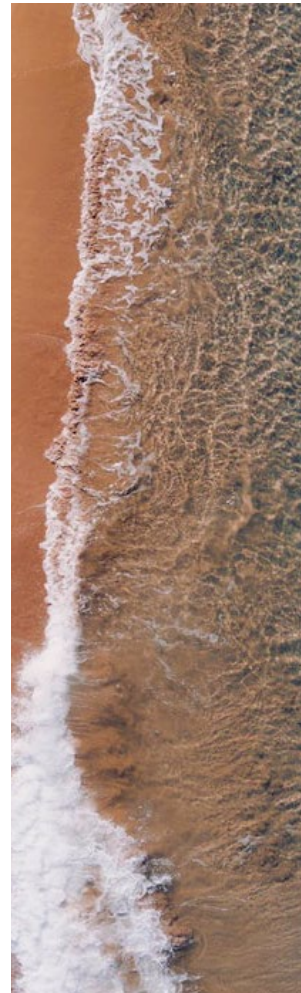
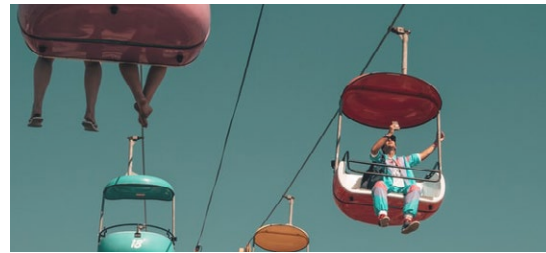
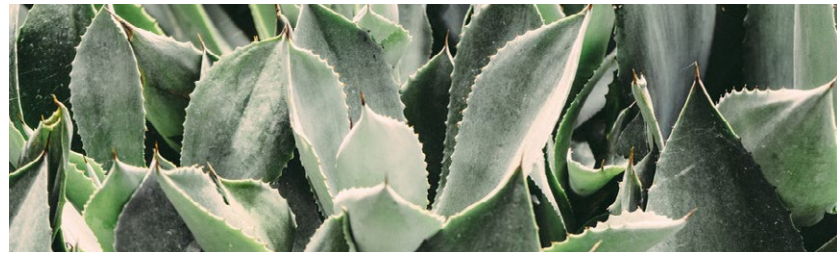
ENTITLEMENTS PACKAGE 09/08/22

THE DOWNTOWN LIBRARY & AFFORDABLE HOUSING PROJECT

The proposed Downtown Santa Cruz Library and Affordable Housing Project delivers much needed affordable housing and provides a cultural hub embodying the spirit of Santa Cruz's diverse and creative community through a public library. The architecture speaks directly to the surrounding scale, form, and materiality of the downtown core while re-energizing the spirit of place through vibrancy and joy.

TENOVER





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PROJECT DESCRIPTION

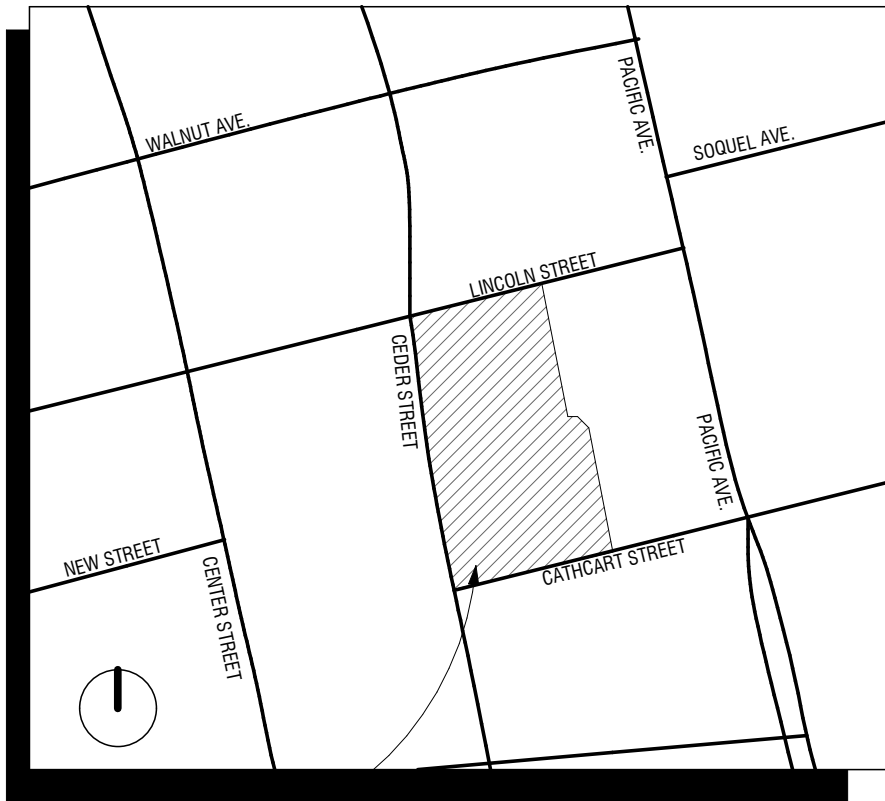
The Downtown Library and Affordable Housing Project proposes a new 273,194 SF, 8-story building in the Cedar Street Village Corridor of Downtown Santa Cruz. The project site spans the full block between Lincoln and Cathcart Street. The primary use is an approx. 38,000 SF Public Library Facility with a main entrance at the mid-block point on Cedar, and a roof deck at the southwest corner of Cedar and Cathcart. A 16-child (minimum) Daycare is proposed immediately adjacent to the Library, with the outdoor play yard capitalizing on south and western light. Approximately 10,000 SF of commercial use is programmed for the three levels at the southwest corner below the Library roof deck with a 2-story presence at the sidewalk.

The eastern side of the project proposes a 243 stall parking garage with minimal frontage on the street facades on Cathcart and Lincoln St. The parking is three above grade levels. The parking will be a Public City Parking Facility with 24 hour access. Above the parking podium are 5 levels of residential units. The 124 units made up of studios, 1-bd, 2-bd, & 3-bd types are 100% affordable and will meet TCAC requirements for community gathering places, unit mix and accessibility.

Throughout the site, there are more than 250 bike parking locations proposed. These locations are spread throughout the site to accommodate varying bike parking needs. On the exterior, there are lockable locations along the sidewalk building entries, and additional stalls located within the public parking garage along the pedestrian entry corridor. In addition, there are separate, secured bike parking locations inside the parking garage for residential tenants and staff as well as library, daycare and commercial employees.

PROGRAM TAKE-OFFS

LIBRARY GROSS SF	38,069 SF
LIBRARY ROOFTOP PATIO SF	3,240 SF
PARKING STALL COUNT	243 STALLS
UNIT COUNT	124
DAYCARE NET SF	1,231 SF
DAYCARE PLAY AREA NET SF	674 SF
COMMERCIAL NET SF	9598 SF



PROJECT LOCATION

LAND USE REQUIREMENTS

ADDRESS	119 LINCOLN STREET, 600-698 CEDAR STREET		
APN	005-141-11 & 21		
GENERAL PLAN DESIGNATION	RVC- REGIONAL VISITOR COMMERCIAL		
ZONING	CBD (CENTRAL BUSINESS DISTRICT)		
SPECIFIC AREA DESIGN GUIDELINES	CEDAR STREET VILLAGE CORRIDOR		
ENTITLEMENTS/USE PERMIT REQUIRED	ADMIN USE PERMIT & SPECIAL USE PERMIT		
LOT SIZE	66921 SF	1.54 ACRE	
AFFORDABLE UNITS PROPOSED	124 (100% AFFORDABLE)		
HEIGHT LIMIT	<i>ALLOWABLE</i> 50'	<i>PROPOSED</i> 50'-0"/91'-0", 96' TO PENTHOUSE	
FAR	<i>ALLOWABLE</i> 0.25 - 5.0	<i>PROPOSED</i> 4.08	
ADJACENT ZONES	<i>NORTH</i>	CBD	
	<i>EAST</i>	CBD	
	<i>SOUTH</i>	CBD	
	<i>WEST</i>	CBD	
SETBACKS	<i>FRONT</i>	0'	
	<i>SIDE</i>	0'	
	<i>REAR</i>	0'	
ALLOWED USES IN ZONE	<i>PROPOSED USE</i>	MULTIPLE-DWELLING	"A" ADMIN. USE PERMIT, SPECIAL USE PERMIT > 60 UNITS
		STRUCTURED PARKING	"A" ADMIN. USE PERMIT
		FITNESS STUDIO	"A" ADMIN. USE PERMIT
		DAYCARE CENTER	"A" ADMIN. USE PERMIT
		COMMUNITY (LIBRARY)	"A" ADMIN. USE PERMIT, SPECIAL USE PERMIT > 16,000 SF

GROSS BUILDING AREAS

	USE	GROSS SF	
FIRST FLOOR	LIBRARY	17,914	
	COMMERCIAL	1,888	
	DAYCARE	1,322	
	PARKING GARAGE	35,337	
TOTAL:		56,461	
SECOND FLOOR	LIBRARY	0	<i>INTERSTITIAL SPACE</i>
	COMMERCIAL	4,117	
	PARKING GARAGE	35,337	
	TOTAL:		39,454
THIRD FLOOR	LIBRARY	17,159	
	COMMERCIAL	5,945	
	PARKING GARAGE	35,337	
	TOTAL:		58,441
FOURTH FLOOR	LIBRARY	2,996	
	RESIDENTIAL	23,240	
	TOTAL:		26,236
FIFTH FLOOR	RESIDENTIAL	23,240	
	TOTAL:		23,240
SIXTH FLOOR	RESIDENTIAL	23,240	
	TOTAL:		23,240
SEVENTH FLOOR	RESIDENTIAL	23,061	
	TOTAL:		23,061
EIGHTH FLOOR	RESIDENTIAL	23,061	
	TOTAL:		23,061
GROSS BLDG TOTAL		273,194	



BICYCLE PARKING CALCULATIONS

	TOTAL BIKE PARKING REQUIREMENT	BREAK UP OF TOTAL BETWEEN CLASS 1 & CLASS 2	FACTOR	TOTAL REQ.	C1* REQ.	C2** REQ.
LIBRARY						
COMMERCIAL	35% AUTO PARKING	CLASS 1: 10% CLASS 2: 90%	95 PARKING STALLS (CALC'D FOR SAKE OF DETERMINING BIKE PARKING REQ.)	34	3	31
MULTIFAMILY						
	1 SPACE PER UNIT	CLASS 1: 1 PER UNIT CLASS 2: 1 PER 4 UNITS IN ADDITION TO CLASS 1	124 UNITS	155	124	31
COMMERCIAL						
FITNESS & DAYCARE	2 + 15% AUTO PARKING	CLASS 1: 20% CLASS 2: 80%	43 PARKING STALLS (CALC'D FOR SAKE OF DETERMINING BIKE PARKING REQ.)	8	2	6
TOTAL REQUIRED				197	129	68
TOTAL PROVIDED				258	140	118

*CLASS 1 PARKING = INDIVIDUALLY LOCKED ENCLOSURE, WEATHER AND VANDALISM PROTECTED, SUPERVISED

**CLASS 2 PARKING = STAND OR OTHER DEVICE TO LOCK BIKE WHEEL TO FRAME

PROVIDED VEHICLE & BIKE PARKING

TOTAL PROVIDED CAR PARKING	243	
TYPICAL STALLS (8'-6" x 19'-0")	103	
TYPICAL STALLS - EV (8'-6" x 19'-0")	13	
COMPACT STALLS (8'-6" x 16'-0")	117	
ADA STALLS	8	
EV ADA STALLS (TYP. & VAN)	2	
TOTAL PROVIDED BIKE PARKING	PROVIDED	REQUIRED
	258	197
RESIDENTIAL CLASS I	130	124
RESIDENTIAL CLASS II	52	31
LIB/COM/DAYCARE CLASS I	10	5
LIB/COM/DAYCARE CLASS II	66	37

PARKING CALCULATIONS

SITE IS IN DOWNTOWN PARKING DISTRICT NO. 1 AND PARKING REQUIREMENTS ARE DETERMINED BY CITY COUNCIL AT TIME OF APPLICATION.

PARKING CALC DONE IN ORDER TO CALCULATE REQUIRED BIKE PARKING

	UNIT FACTOR	PARKING FACTOR	REQD OUTSIDE OF PARK. DISTR 01	WITHIN PARK. DISTR 01	SPACES PROVIDED
RESIDENTIAL					
	13 S-BD + 48 1-BD	1 PER STUDIO/1-BD	61	TBD	0
	32 2-BD + 31 3-BD	2 PER 2+ UNIT	126	TBD	0
LIBRARY					
	38086 SF	1 PER 400 SF	95	TBD	0
FITNESS CENTER					
	9598 SF	1 PER 250 SF	38	TBD	0
DAYCARE					
	16 CHILDREN	1 PER 5 CHILDREN + 1 FOR MANAGER	5	TBD	0
PUBLIC PARKING GARAGE					243
TOTAL PROVIDED					243

ADA & EV REQUIREMENTS OF THE PARKING PROVIDED

ADA SPACES	USE	# OF SPACES	ADA REQUIRED	
	COMMERCIAL	243	7	
	RESIDENTIAL	TBD		
	REQ'D TOTAL		7	
	PROVIDED TOTAL	8 TOTAL (5 TYP. ADA & 3 VAN)		
EV REQUIRED	USE	# OF SPACES	EV FACTOR	EV REQUIRED
	COMMERCIAL	243	6% OF SPACES	15
	RESIDENTIAL	TBD	12% OF SPACES	TBD
	REQ'D TOTAL			15
	PROVIDED TOTAL	15 TOTAL (13 TYP. EV, 1 EV ADA, & 1 EV VAN)		

BUILDING CODE INFORMATION

OCCUPANCY	MIXED OCCUPANCY, MULTI-STORY WITH THE FOLLOWING USES: A-3, M, S-2, R-2, E
CONSTRUCTION TYPE:	
LIBRARY & COMMERCIAL & DAYCARE	1A
GARAGE & BLDG SUPPORT	1A
RESIDENTIAL	3A OVER 3-HR CONCRETE PODIUM FLOOR CONSTRUCTION
STORIES PROPOSED	8
ALLOWABLE HEIGHT	85'-0" TO ROOF DECK
PROPOSED HEIGHT	84'-0" FROM FINISH FLOOR TO ROOF DECK
SPRINKLER SYSTEM	NFPA 13 FULL BUILDING

ALLOWABLE BUILDING HEIGHT, STORIES & AREAS

MIXED USE OCCUPANCIES - ALLOWABLE HEIGHT

	HEIGHT	STORIES	PROPOSED
A-3, TYPE IA, S	UL	UL	2 STORIES, 47'-0" TO STRUCTURE
S-2, TYPE IA, S	UL	UL	3 STORIES, 33'-0" TO STRUCTURE
R-2, TYPE IIIA, S	85'-0" FROM GRADE (WITHOUT AREA INCREASE)	5 (WITHOUT AREA INCREASE)	5 STORIES, 51'-0" ABOVE PODIUM / 84'-0" TO STRUCTURE
B/M, TYPE IA, S	UL	UL	3 STORIES, 33'-0" TO STRUCTURE
E, TYPE IA, S	UL	UL	1 STORY, 11'-0" TO STRUCTURE

FRONTAGE INCREASE QUALIFIER

PERIMETER (P)	WIDTH (W)*	LENGTH (F)**	PERCENTAGE
1,016	>30	689.5	68%

* OF OPEN SPACE/ PUBLIC WAY

**OF BUILDING ON PUBLIC WAY OR OPEN SPACE W/ MINIMUM 20' WIDTH

REQUIRED	25%	ACTUAL	68%
QUALIFIES	YES		

ALLOWABLE FRONTAGE INCREASE

If = AREA FACTOR INCREASE DUE TO FRONTAGE

F = PERIMETER THAT FRONTS ON PUBLIC WAY

P = PERIMETER OF ENTIRE BUILDING

W = WIDTH OF PUBLIC WAY OR OPEN SPACE

If = (F/P-0.25)W/30

If = (689.5/1016-0.25)30/30 If = 0.429

BUILDING AREA CALCULATIONS / FLOOR

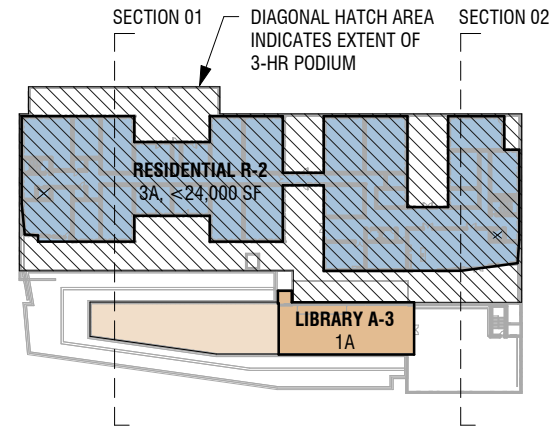
Aa = ALLOWABLE AREA

At = TABULAR AREA FACTOR

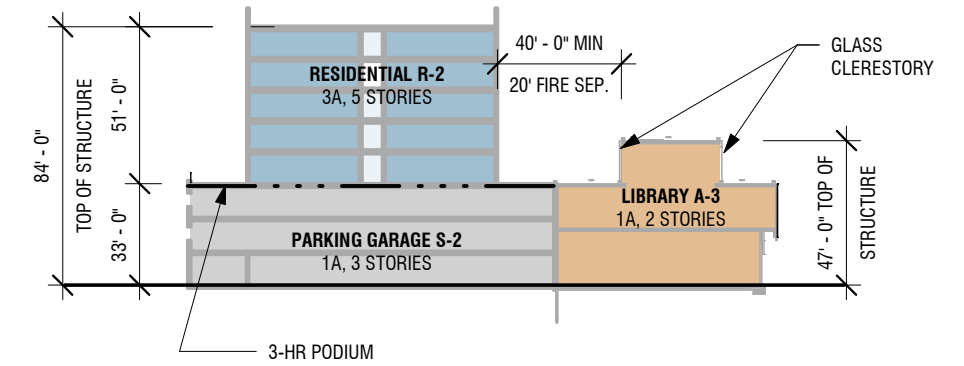
NS = TABULAR AREA FACTOR FOR NS BUILDING

If = AREA FACTOR INCREASE DUE TO FRONTAGE

Sa = 1 (DE FACTO NUMBER OF STORIES)

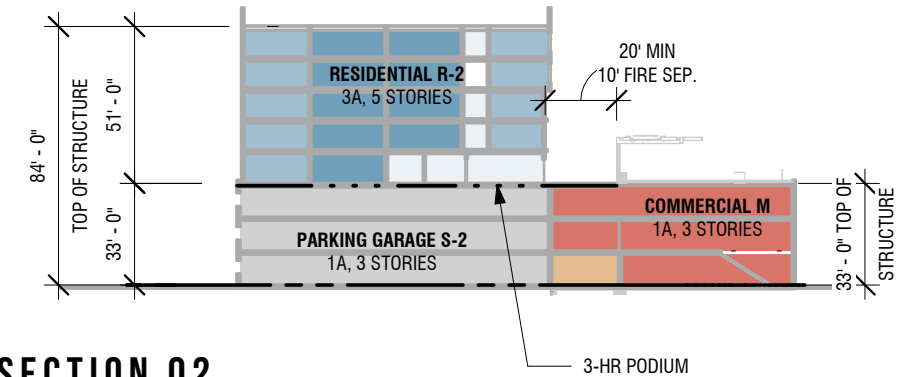


NOTE: ALL HEIGHTS ARE MEASURED FROM TOP OF SLAB



SECTION 01

NOTE: ALL HEIGHTS ARE MEASURED FROM TOP OF SLAB



SECTION 02

PODIUM CODE REVIEW (SECTION 510.2)

CBC 510.2	CODE SECTION (IF APPLICABLE)	RELATION TO PROPOSED STRUCTURE
	A BUILDING SHALL BE CONSIDERED AS SEPARATE AND DISTINCT BUILDINGS FOR THE PURPOSE OF DETERMINING AREA LIMITATIONS, CONTINUITY OF FIRE WALLS, LIMITATION OF NUMBER OF STORIES AND TYPE OF CONSTRUCTION WHERE THE FOLLOWING ARE MET:	RESIDENTIAL TOWER IS CONSIDERED A SEPARATE BUILDING, COMPLYING WITH AREA (WITH FRONTAGE INCREASE)
1	HORIZONTAL 3 HOUR ASSEMBLY, VERTICAL OFFSETS ALLOWED, BUT MUST ALSO BE 3-HR.	3-HR CONCRETE PODIUM PROPOSED BETWEEN RESIDENTIAL TOWER AND PROGRAM BENEATH: GARAGE AND COMMERCIAL.
2	THE BUILDING BELOW (INCLUDING THE HORIZONTAL ASSEMBLY) IS OF TYPE IA CONSTRUCTION	ALL PROGRAM EXCEPT THE RESIDENTIAL IS TO BE 1A CONSTRUCTION.
3	SHAFT, STAIRWAY, RAMP AND ESCALATOR ENCLOSURES THROUGH THE HORIZONTAL ASSEMBLY SHALL HAVE NOT LESS THAN A 2-HR FIRE RATING WITH OPENING PROTECTIVES.	ALL STAIR TOWERS AND SHAFTS GOING THROUGH THE PODIUM CONSTRUCTION WILL BE OF A 2-HR RATED ENCLOSURE WITH OPENING PROTECTIVES.
4	THE BUILDING ABOVE THE HORIZONTAL ASSEMBLY SHALL BE GROUP A (IF LESS THAN 300 OCCUPANTS), OR GROUP B, M, R OR S	THE PROPOSED BUILDING ABOVE THE PODIUM IS TO BE R-2 WITH INCIDENTAL USES PERTAINING TO THE R-2 USE.
5	THE BUILDING BELOW THE HORIZONTAL ASSEMBLY SHALL BE PROTECTED THROUGHOUT BY AN APPROVED AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1 AND CAN BE ANY OCCUPANCY EXCEPT H.	THE ENTIRE STRUCTURE WILL BE FULLY SPRINKLERED WITH AN NFPA 13 SYSTEM, AND THERE WILL BE NO TYPE H OCCUPANCY PROPOSED.
6	THE MAXIMUM BUILDING HEIGHT IN FEET SHALL NOT EXCEED THE LIMITS SET FORTH IN SECTION 504.3 FOR THE BUILDING HAVING THE SMALLER ALLOWABLE HEIGHT AS MEASURED FROM GRADE PLANE.	AS OUTLINED HERE, THE SMALLEST ALLOWABLE HEIGHT FOR THE VARIOUS USES IS THE R-2 TYPE IIIA, 85'-0" (TAKING HEIGHT INCREASE). TOTAL BUILDING HEIGHT WILL BE 84'-0" FROM FINISH FLOOR TO TOP OF ROOF DECK.

MIXED OCCUPANCY, MULTI-STORY

EQUATION 5-3 Aa = [At + (NS x If)]

RES R-2, IIIA	Aa = [24000 + (24000 x .429)]	Aa =	33984 / FLOOR
	ALLOWABLE/FLR 34287	LARGEST PROPOS'D	23240

SEPARATED OCCUPANCIES & 3+ STORIES - ALLOWABLE AREA

	USE	ACTUAL AREA	ALLOWABLE AREA	RATIO
FIRST FLOOR	S-2, TYPE IA, S	35338	UNLIMITED	0.00
	A-3, TYPE IA, S	18006	UNLIMITED	0.00
	M, TYPE IA, S	2035	UNLIMITED	0.00
	E, TYPE IIIB, S	1322	UNLIMITED	0.00
	TOTAL			0.00
SECOND FLOOR	S-2, TYPE IA, S	35338	UNLIMITED	0.00
	A-3, TYPE IIIB, S	0	UNLIMITED	0.00
	M, TYPE IIIB, S	4112	UNLIMITED	0.00
	TOTAL			0.00
THIRD FLOOR	S-2, TYPE IA, S	35338	UNLIMITED	0.00
	A-3, TYPE IA, S	17025	UNLIMITED	0.00
	M, TYPE IA, S	5946	UNLIMITED	0.00
	TOTAL			0.00
TOTAL				0.00

REQ'D RATIO < / = 1 PER FLOOR, < / = 3 PER ENTIRE BUILDING

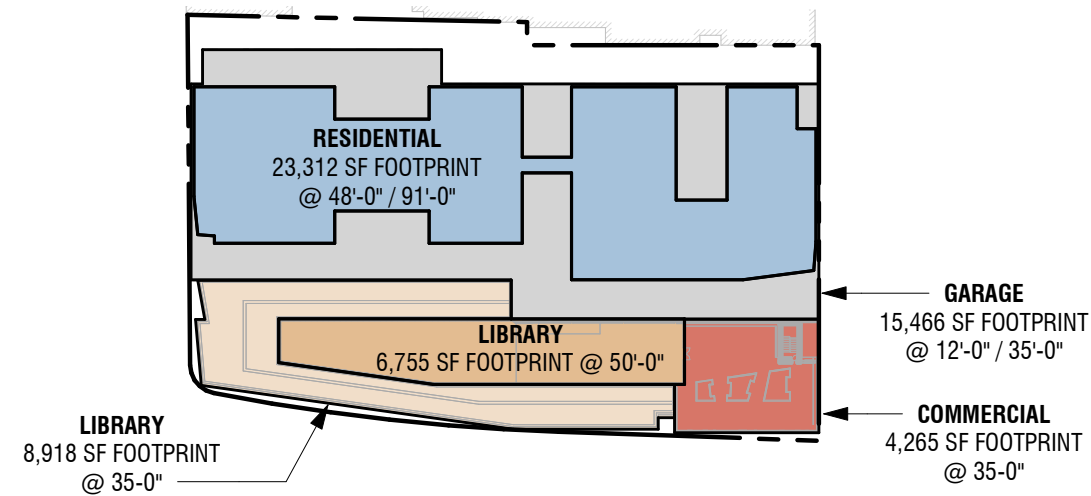
BASE DENSITY VS PROPOSED DENSITY

BASE PROJECT

GROSS SQUARE FOOTAGE	153,180 SF			
	<i>NOTE: LIBRARY REDUCED BY 3,218 SF</i>			
BUILDING HEIGHT (GRADE TO PARAPET)	COMMERCIAL:	35'-0"		
	LIBRARY:	50'-0"		
	RESIDENTIAL:	48'-0"		
STORIES ABOVE GRADE	4			
FAR	ALLOWABLE: 0.25- 5.0	66921 SF LOT AREA	FAR:	2.29
# OF UNITS	72 UNITS			
DENSITY	46.45 UNITS/ACRE			
PARKING	80			
CONCESSIONS REQUIRED	NONE			

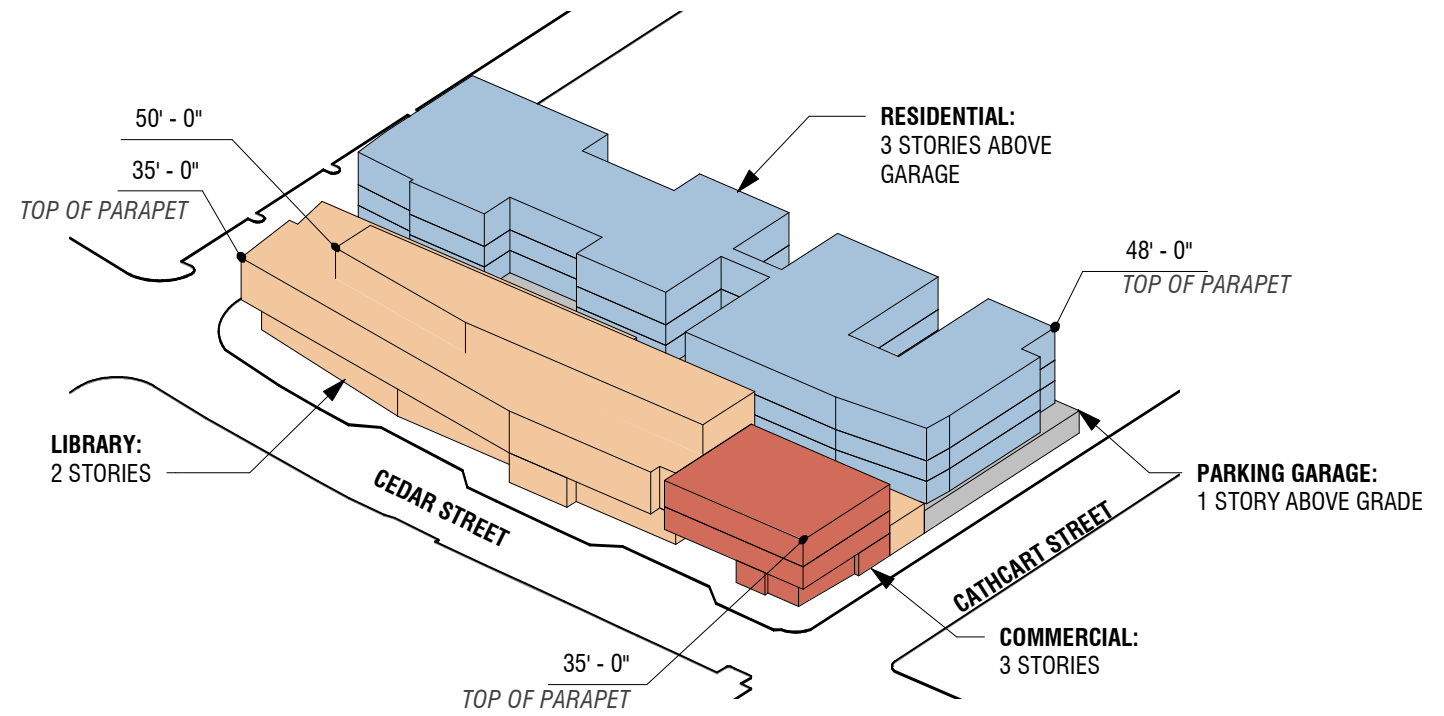
PROPOSED PROJECT

GROSS SQUARE FOOTAGE	273,194 SF			
BUILDING HEIGHT (GRADE TO PARAPET)	BUILDING FOOTPRINT AREA BELOW 50' HEIGHT			
	GARAGE/COMMERCIAL:	35'-0"	28,649 SF SITE AREA	42.81%
	LIBRARY:	50'-0"	6,755 SF SITE AREA	10.09%
			TOTAL:	52.90%
	BUILDING FOOTPRINT AREA ABOVE 50' HEIGHT			
	RESIDENTIAL:	91'-0"	23,312 SF SITE AREA	34.84%
			TOTAL:	34.84%
STORIES ABOVE GRADE	8			
FAR	ALLOWABLE: 0.25- 5.0	66921 SF LOT AREA	FAR:	4.08
# OF UNITS	124 UNITS			
DENSITY	80 UNITS/ACRE			
PARKING	243			
CONCESSIONS REQUIRED	HEIGHT EXCEPTION FOR RESIDENTIAL COMPONENT			



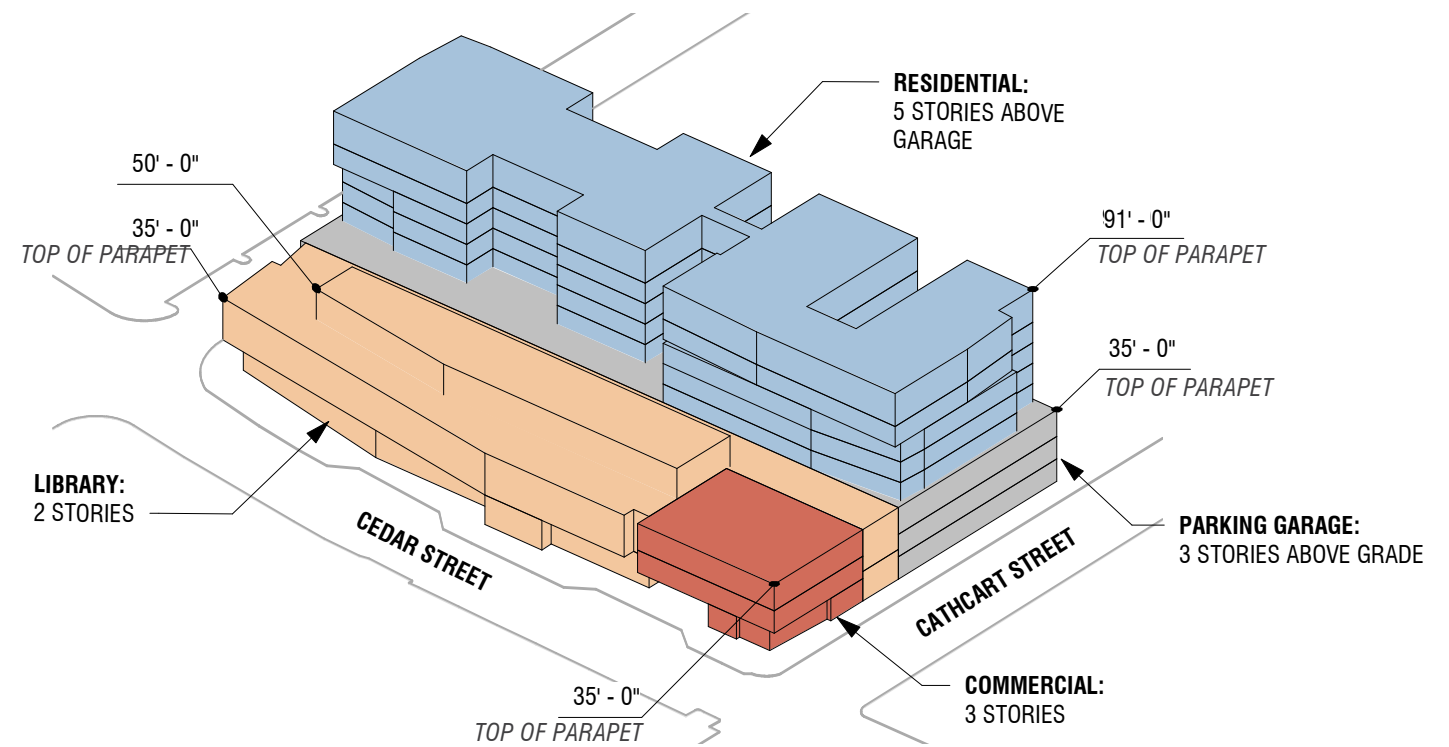
SITE AREA DIAGRAM - PROPOSED DENSITY

NOTE: HEIGHTS ARE TO TOP OF PARAPET FROM GRADE



BASE DENSITY - 3D DIAGRAM

NOTE: HEIGHTS ARE TO TOP OF PARAPET FROM GRADE



PROPOSED DENSITY - 3D DIAGRAM

NOTE: HEIGHTS ARE TO TOP OF PARAPET FROM GRADE

AFFORDABLE HOUSING REQUIREMENTS

TAX CREDIT REQUIREMENTS

TCAC AFFORDABLE UNITS REQ'D	#UNITS REQUIRED	#UNITS PROVIDED
25% 3-BEDS MIN. 900 SF*	31	31
25% 2-BEDS MIN. 700 SF*	31	31
REMAINING 1-BEDS MIN. 450 SF*		48
REMAINING STUDIOS MIN. 450 SF*		13
15% 11B MOBILITY IMPAIRED	19	20 (5 3-BD, 5 2-BD, 8 1-BD, 2 STUDIO)
10% 11B COMMUNICATION	13	20 (5 3-BD, 5 2-BD, 8 1-BD, 2 STUDIO)

*SEE "UNIT TYPES" ON THIS SHEET FOR TOTAL NUMBER AND SIZE OF UNITS AS WELL AS LOCATION OF ALL MOBILITY & COMMUNICATION UNITS.

TCAC AMENITIES	MIN. SF / FACTOR	# / SF
COMMUNITY ROOM	1,800 SF	2,000 SF (COMMUNITY ROOM + LOUNGE)
LAUNDRY*	1 PER 10 UNITS	13W, 13D*
PLAY AREA FOR AGES 2-12	600 SF + 5 SF FOR EACH ADD. UNIT OVER 100 (600 + 120 = 720 SF MIN)	970 SF
PLAY AREA FOR AGES 13-17	**INCLUDED IN COMMUNITY SPACE	

* (12) SETS OF WASHERS & DRYERS ARE STACKED, (1) SET IS SIDE-BY-SIDE FOR ACCESSIBILITY REACH RANGE COMPLIANCE

**SQUARE FOOTAGE IS ACCOMMODATED WITHIN THE COMMUNITY AREA AND WILL BE ACCESSIBLE TO MINORS FROM 6 AM TO 10 PM EXCEPT WHEN THE AREA IS RESERVED FOR SERVICE AMENITIES OR SPECIAL EVENTS.

UNIT AREA TABULATION

UNIT TYPE	BED #	NET SF	DECK SF	N. GROSS	COUNT	TL NET	TL DECK	TL GROSS	TL BEDS
S-1	STUDIO	456	--	--	10	4560	--	--	0
S-2	STUDIO	344	--	--	1	344	--	--	0
S-3	STUDIO	473	--	--	2	946	--	--	0
1-1	1	455	--	--	38	17290	--	--	38
1-2	1	512	--	--	5	2560	--	--	5
1-3	1	509	--	--	3	1527	--	--	3
1-4	1	507	--	--	2	1014	--	--	2
2-1	2	742	--	--	20	14840	--	--	40
2-2	2	730	--	--	5	3650	--	--	10
2-3	2	819	--	--	3	2457	--	--	6
2-4	2	729	--	--	2	1458	--	--	4
2-5	2	844	--	--	2	1688	--	--	4
3-1	3	909	--	--	15	13635	--	--	45
3-2	3	957	--	--	5	4785	--	--	15
3-3	3	932	--	--	5	4660	--	--	15
3-4	3	902	--	--	2	1804	--	--	6
3-5	3	907	--	--	2	1814	--	--	6
3-6	3	950	--	--	2	1900	--	--	6
TOTAL					124	80932	TBD	TBD	205

AVERAGE NET UNIT SIZE: 653

AVERAGE GROSS UNIT SIZE: --

UNIT COUNT: TYPE

TOTAL UNITS

TOTAL # UNITS:	124	% OF TOTAL UNITS PROPOSED
STUDIO:	13	10.5%
1BD:	48	38.7%
2BD:	31	25.0% (MIN 25% REQ'D)
MANAGER (2-BD)	1	0.8%
3BD:	31	25.0% (MIN 25% REQ'D)

FOURTH FLOOR FIFTH FLOOR SIXTH FLOOR SEVENTH FLOOR EIGHTH FLOOR

	STUDIO	1-BD	2-BD	3-BD	MGR	TOTAL
FOURTH FLOOR	3	6	5	5	1	20
FIFTH FLOOR	2	11	7	6		26
SIXTH FLOOR	2	11	7	6		26
SEVENTH FLOOR	3	10	6	7		26
EIGHTH FLOOR	3	10	6	7		26
TOTAL	13	48	31	31	1	124

ACCESSIBILITY & COMMUNICATION

TOTAL # UNITS:	124	% OF TOTAL UNITS PROPOSED
MOBILITY (11B ACCESSIBLE):	20	16% (MIN 15% REQ'D)
COMMUNICATION:	20	16% (MIN 10% REQ'D)

FOURTH FLOOR FIFTH FLOOR SIXTH FLOOR SEVENTH FLOOR EIGHTH FLOOR

	MOBILITY (11B)	COMMUNICATION
FOURTH FLOOR	4	4
FIFTH FLOOR	4	4
SIXTH FLOOR	4	4
SEVENTH FLOOR	4	4
EIGHTH FLOOR	4	4
TOTAL	20	20





NE CORNER OF CATHCART AND CEDAR STREET

TENOVER

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for the future
HOUSING

EDEN
HOUSING

DOWNTOWN LIBRARY & AFFORDABLE HOUSING PROJECT

SANTA CRUZ, CA
DATE: 09/08/22

T2.0



VIEW FROM ADJACENT PARKING AT CEDAR STREET

TENOVER

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for the future
HOUSING

EDEN
HOUSING

DOWNTOWN LIBRARY & AFFORDABLE HOUSING PROJECT

SANTA CRUZ, CA
DATE: 09/08/22

T2.1



ELEVATION ALONG CEDAR STREET

TENOVER

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for the future
HOUSING

EDEN
HOUSING

DOWNTOWN LIBRARY & AFFORDABLE HOUSING PROJECT

SANTA CRUZ, CA
DATE: 09/08/22

T2.2



SE CORNER OF CEDAR AND LINCOLN STREET

TENOVER

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for the future
HOUSING

EDEN
HOUSING

DOWNTOWN LIBRARY & AFFORDABLE HOUSING PROJECT

SANTA CRUZ, CA
DATE: 09/08/22

T2.3



APPROACH FROM CATHCART STREET

TENOVER

539 Marsh Street
San Luis Obispo, CA
805.541.1010
info@tenoverstudio.com

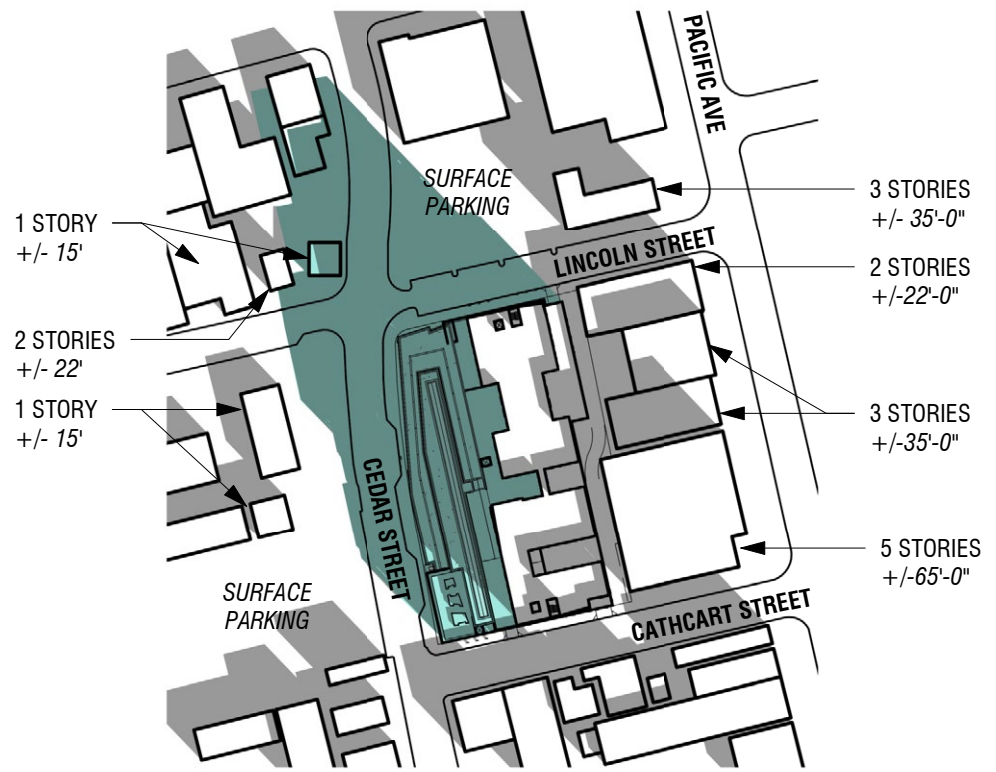
for the future
HOUSING

EDEN
HOUSING

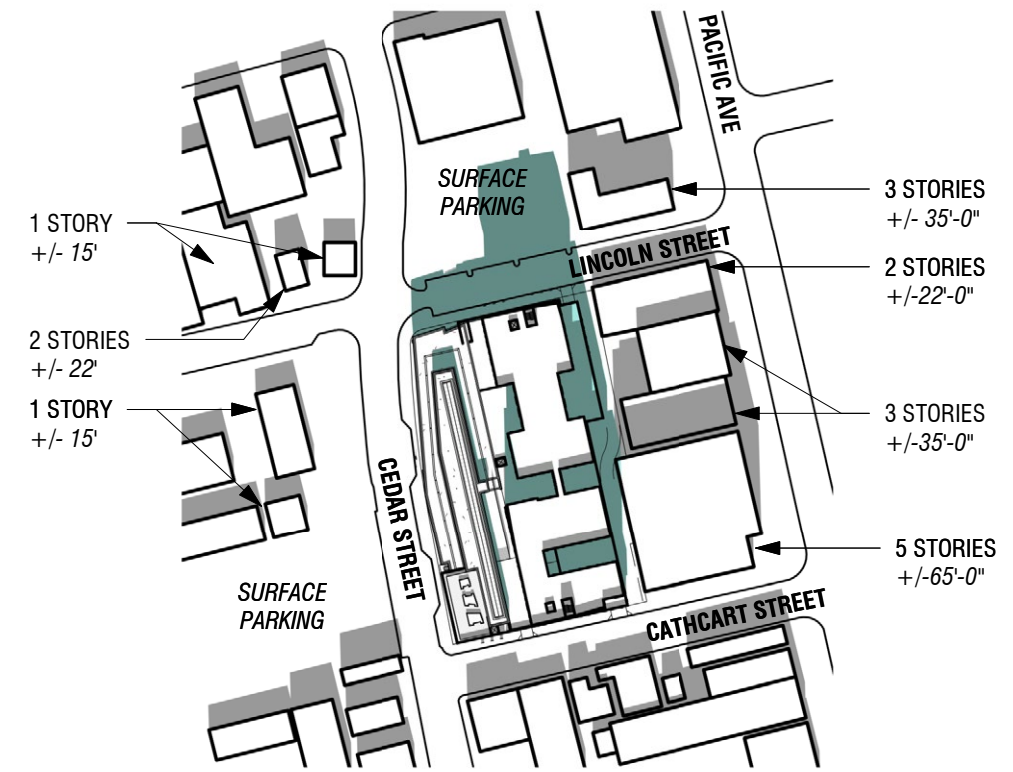
DOWNTOWN LIBRARY & AFFORDABLE HOUSING PROJECT

SANTA CRUZ, CA
DATE: 09/08/22

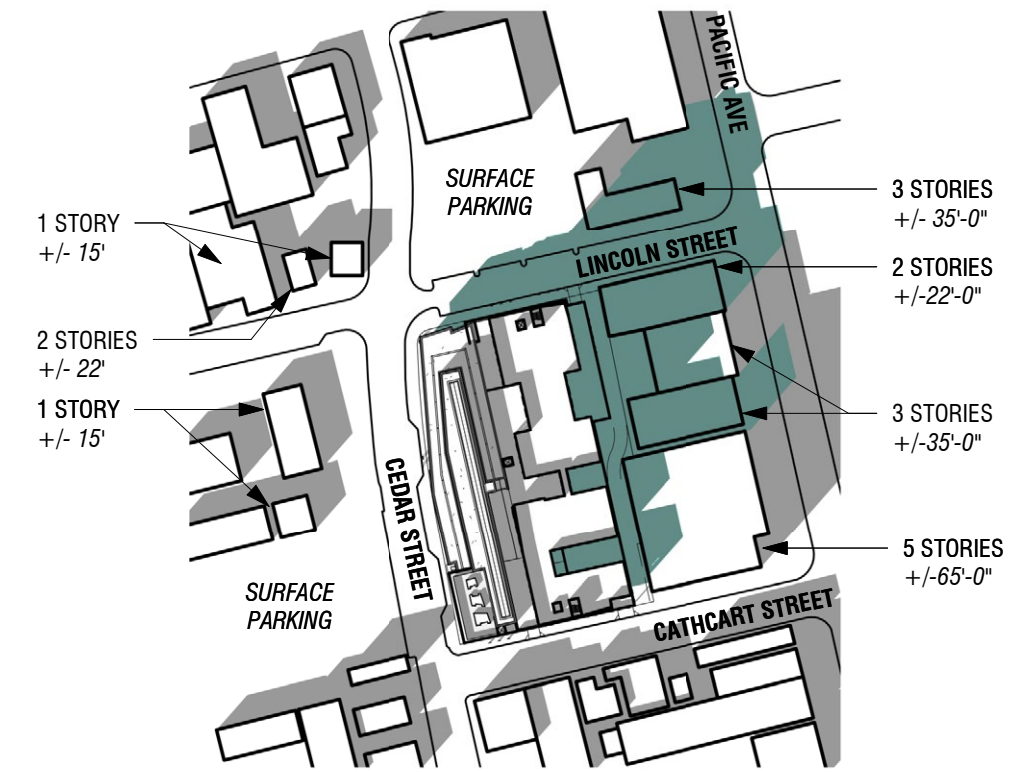
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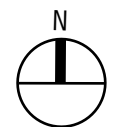
WINTER SOLSTICE @ 9 AM



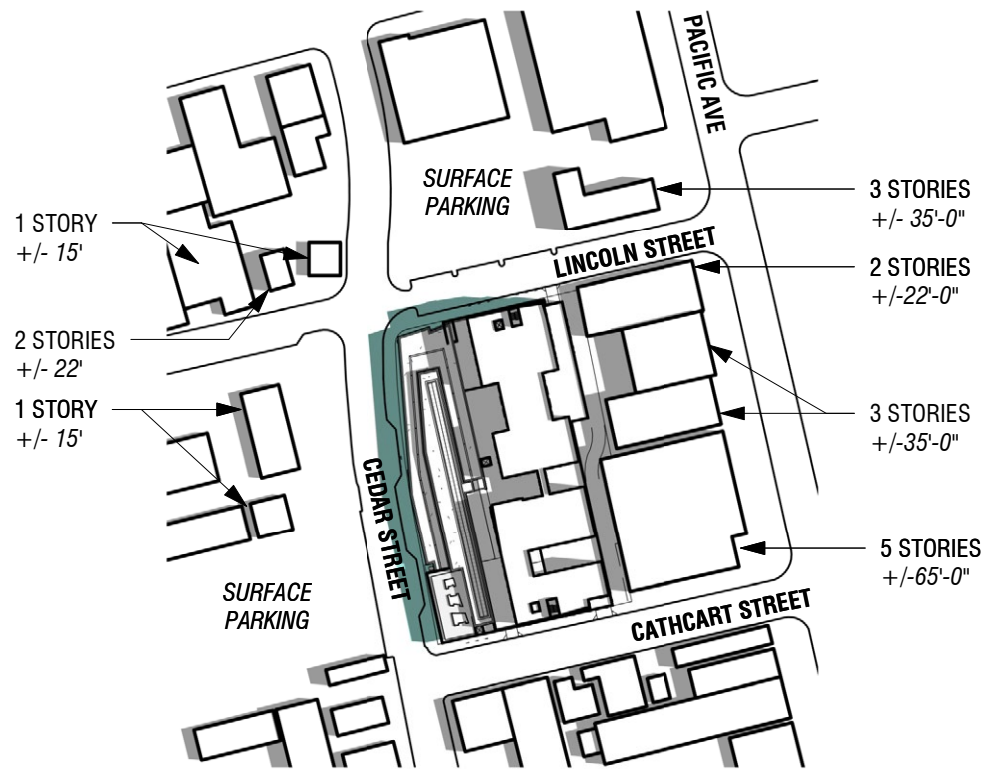
WINTER SOLSTICE @ 12 PM



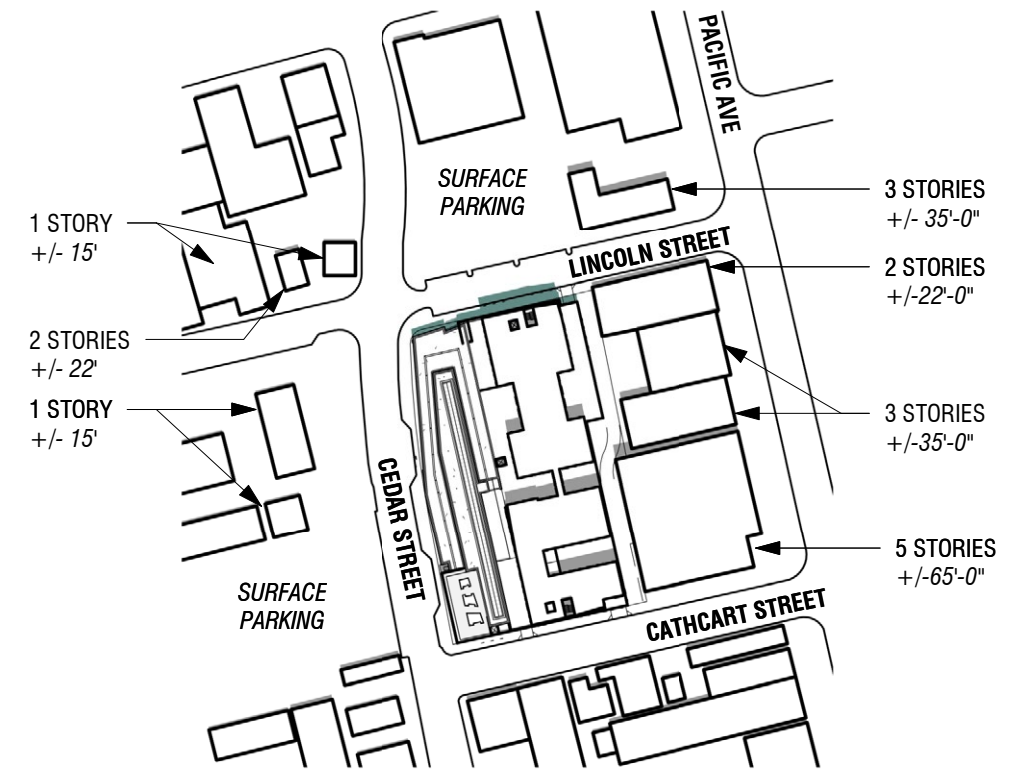
WINTER SOLSTICE @ 3 PM



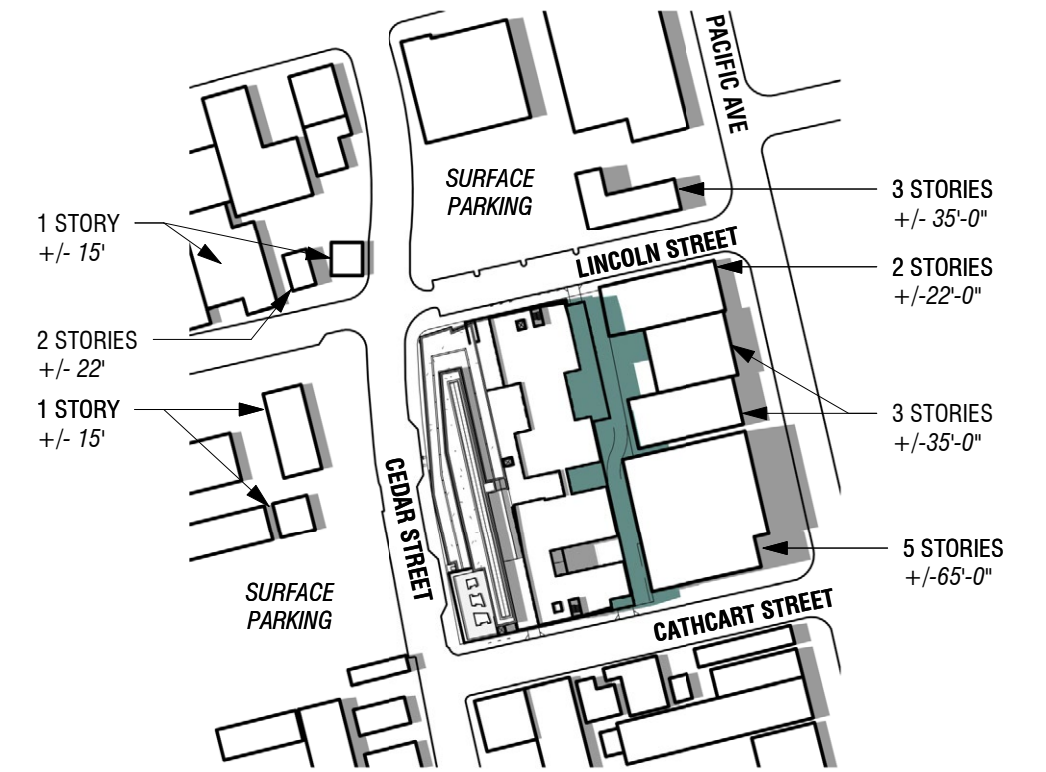
SOLAR SHADING STUDY
SCALE: N.T.S.



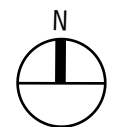
SUMMER SOLSTICE @ 9 AM



SUMMER SOLSTICE @ 12 PM



SUMMER SOLSTICE @ 3 PM



SOLAR SHADING STUDY
SCALE: N.T.S.

Basis of Bearings

THE BASIS OF BEARINGS FOR THIS SURVEY IS BETWEEN MONUMENTS DT-4 AND DT-6, FOUND ALONG THE CEDAR STREET, AS SHOWN ON THAT MAP FILED IN VOLUME 86 OF MAPS, AT PAGE 61, SANTA CRUZ COUNTY RECORDS.

BASIS OF BEARINGS = S05°54'47"E
(CALCULATED BEARING BETWEEN COORDINATE VALUES OF DT-4, DT-6).

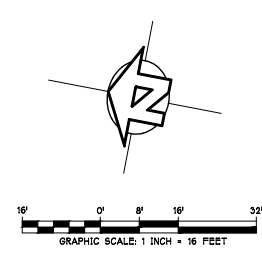
Benchmark

THE BENCHMARK FOR THIS SURVEY IS CITY OF SANTA CRUZ BENCHMARK E4-21, WHICH IS A 7/8" BRASS TAG, LOCATED AT TOP OF CURB ON CENTER STREET, OPPOSITE OF NEW STREET.

BENCHMARK ELEVATION = 13.029' (NAVD88)

Legend

- MONUMENT FOUND AS NOTED
- ⊙ SAN. SEWER MANHOLE
- ⊕ STORM DRAIN MANHOLE
- ⊕ ACCESSIBLE PARKING
- ⊕ WATER VALVE
- ⊕ WATER METER
- ⊕ FIRE HYDRANT
- ⊕ BENCHMARK
- STORM DRAIN INLET
- STREET SIGN
- DOUBLE SIDED STREET SIGN
- ⊕ TRAFFIC SIGNAL BOX
- ⊕ LIGHT STANDARD
- ⊕ SAN. SEWER CLEANOUT
- ⊕ UTILITY POLE
- ⊕ GAS METER
- ⊕ GAS VALVE
- () INDICATES RECORD DATA
- (R) INDICATES RADIAL BEARING
- R&C RECORD & CALCULATED DATA
- INV. INVERT ELEVATION
- ⊕ UTILITY VALVE BOX
- ⊕ BOLLARD
- ⊕ PARKING METER
- ⊕ ELECTROLUX
- ⊕ STREET LIGHT BOX
- ▨ BUILDING OVERHANG, OR AWNING
- ▭ BUILDING FOOTPRINT
- SANITARY SEWER LINE
- STORM DRAIN LINE
- OVERHEAD UTILITY LINE
- PROPERTY BOUNDARY
- CONTOUR LINE
- TREE DRIFLINE
- WALL
- FLOWLINE
- SPOT ELEVATION DERIVED FROM AERIAL PHOTGRAMMETRY AND/OR 3D MOBILE LIDAR DATA.
- SPOT ELEVATION FROM CONVENTIONAL GROUND SURVEY.
- ALL DISTANCES SHOWN ARE IN FEET AND DECIMALS THEREOF.



REVISIONS	
	APPROVED
IFLAND SURVEY Surveying - Mapping - GPS <small>8300 Siquinal Avenue, Suite 101, Santa Cruz, CA 95062 Tel 831.426.7941 Fax 831.426.6266</small>	
Record Boundary and Topographic Survey: Santa Cruz Library Mixed Use Project 600-698 Cedar Street, Santa Cruz, CA	
PREPARED AT THE REQUEST OF IFLAND ENGINEERS	DRAWN VCL
DATE 02/04/22	SCALE 1"=16'
SHEET 1 OF 1 SHEETS	
JOB NO. G22002	

SITE SURVEY
SCALE: N.T.S.



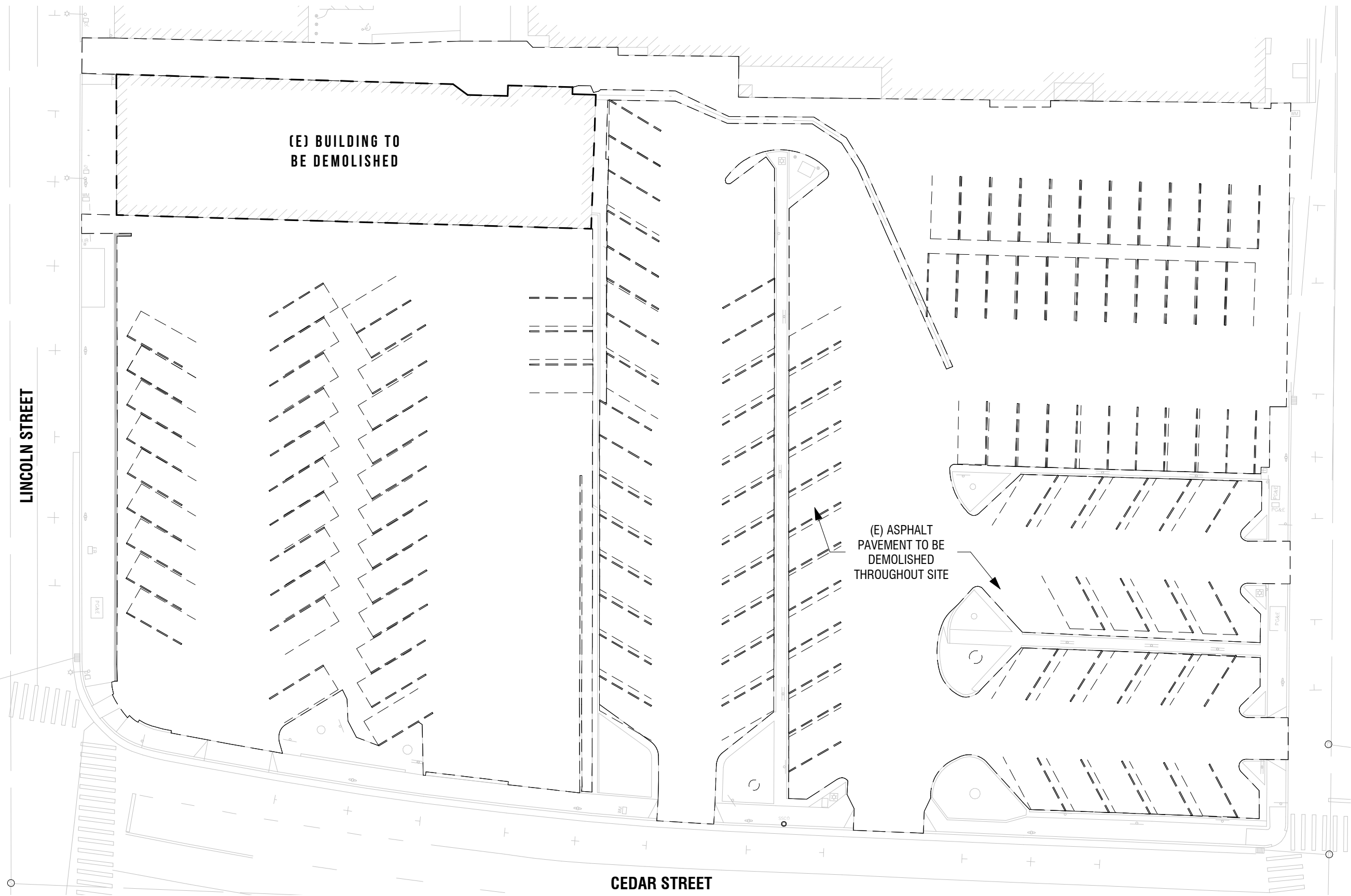
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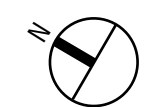
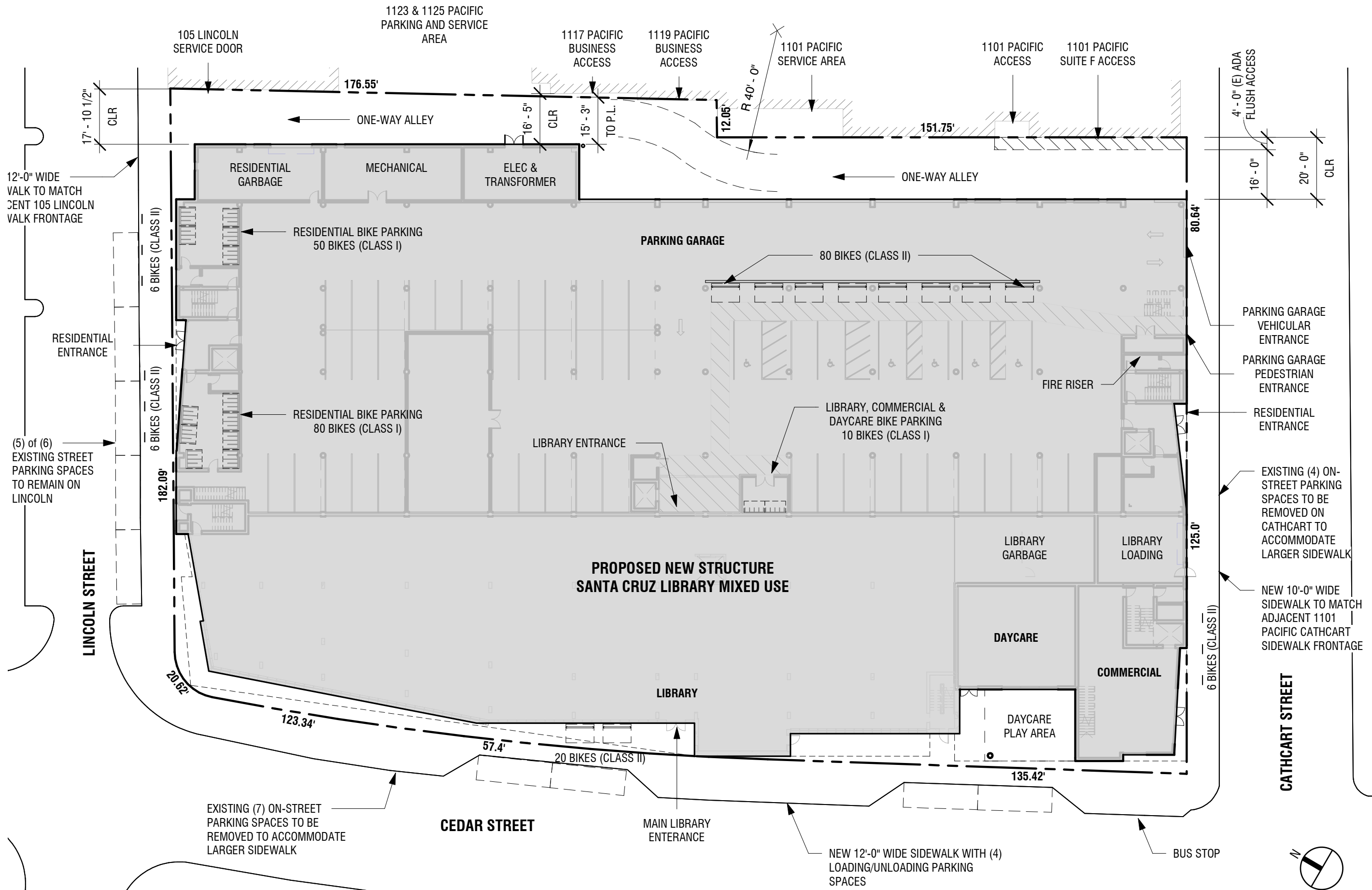
DOWNTOWN LIBRARY & AFFORDABLE HOUSING PROJECT

SANTA CRUZ, CA
DATE: 09/08/22

A1.0



SITE DEMO PLAN
 SCALE: 1" = 30'-0"



SITE PLAN
SCALE: 1" = 50'-0"

1730 N. FIRST STREET
SUITE 600
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CALIFORNIA

**SANTA CRUZ LIBRARY MIXED USE
EXISTING CONDITIONS**

SANTA CRUZ COUNTY

SANTA CRUZ

Revisions	No.	Date	Description
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			Drawn: DS
			Approved: JM
			Job No: 2020022

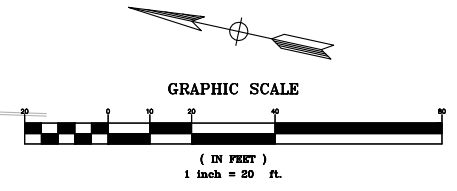
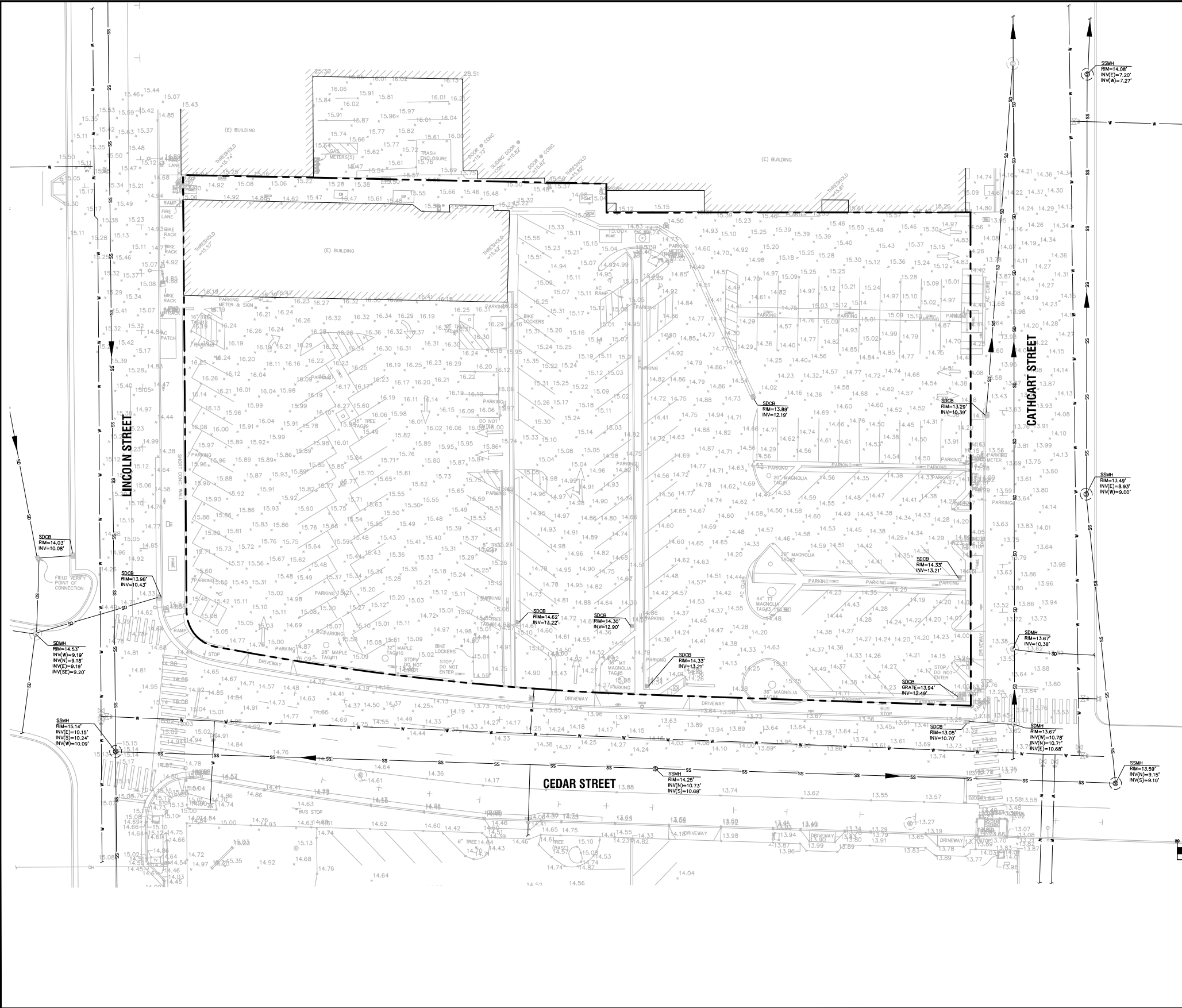
Sheet Number:
C1.0

**EXISTING
CONDITIONS**

SCALE: N.T.S.

LEGEND

- PROPERTY LINE
- SANITARY SEWER
- STORM DRAIN
- WATER
- VALLEY GUTTER
- VERTICAL CURB
- CURB AND GUTTER
- SANITARY SEWER MANHOLE
- STORM DRAIN MANHOLE
- COMMUNICATION MANHOLE
- SANITARY SEWER CLEANOUT
- WATER VALVE
- WATER METER
- FIRE HYDRANT
- STORM DRAIN CATCH BASIN
- STREET SIGN
- PARKING METER
- ELECTRICAL BOX
- STREET LIGHT BOX
- GAS METER
- GAS VALVE
- STREETLIGHT POLE



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PLOT DATE: 09-02-22
PLOTTED BY: sold



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DOWNTOWN LIBRARY & AFFORDABLE HOUSING PROJECT



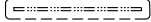


SANTA CRUZ, CA
DATE: 09/08/22

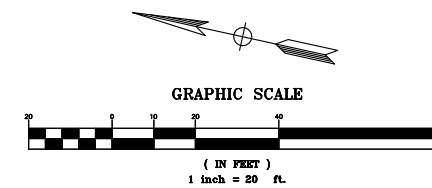
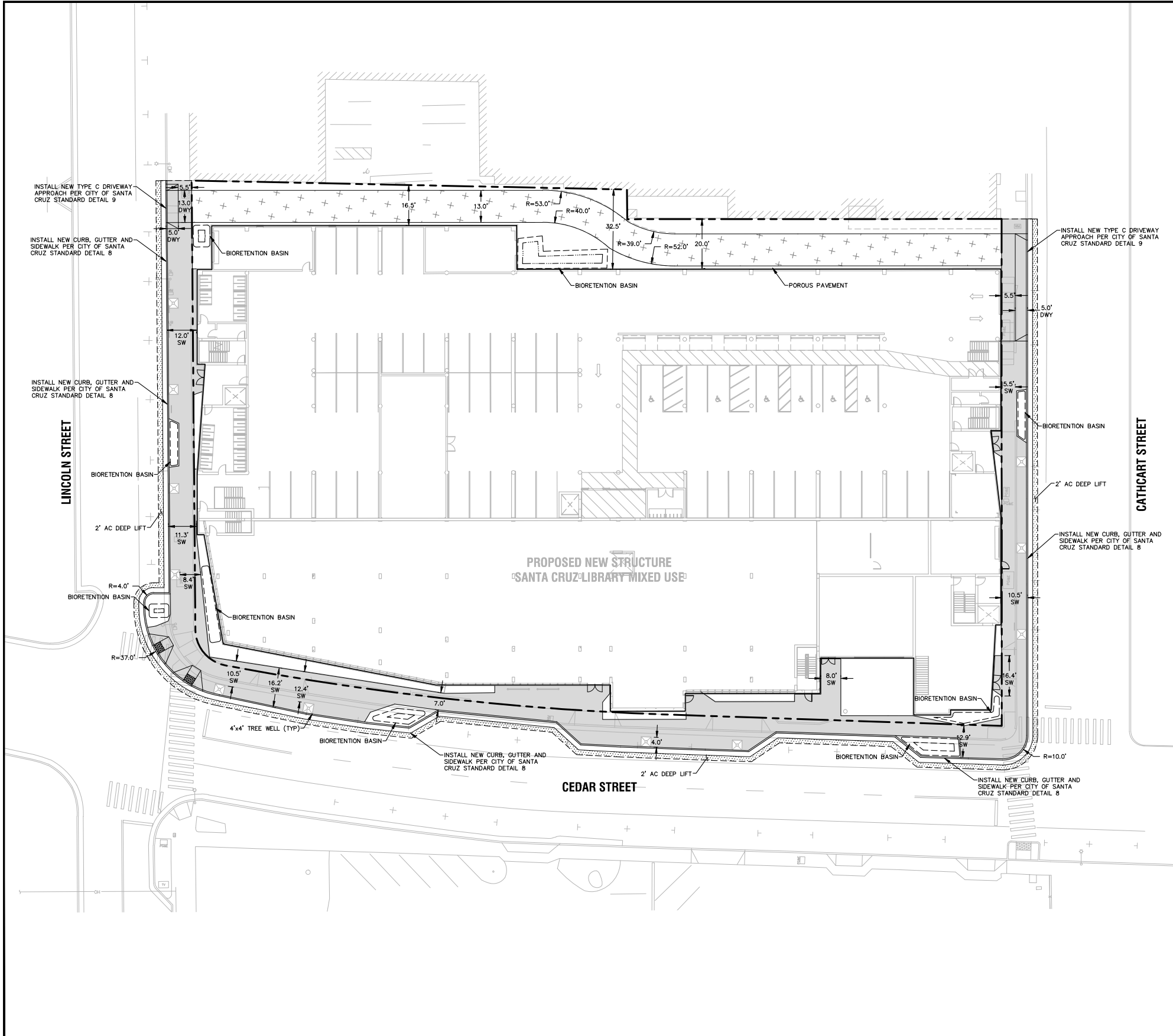
C1.0

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LEGEND

- PROPERTY LINE 
- VERTICAL CURB & GUTTER 
- BIORETENTION BASIN 
- CONCRETE SIDEWALK 
- POROUS PAVEMENT 



CALIFORNIA

SANTA CRUZ COUNTY

SANTA CRUZ

SANTA CRUZ LIBRARY MIXED USE

SITE PLAN

Revisions	
No.	Description

Date: 09/02/2022	Scale: 1" = 20'
Design: AA	Drawn: DS
Approved: JM	Job No: 220922
Sheet Number:	
C2.0	

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PLOT DATE: 09-02-22
PLOTTED BY: solid

CIVIL SITE PLAN
SCALE: N.T.S.



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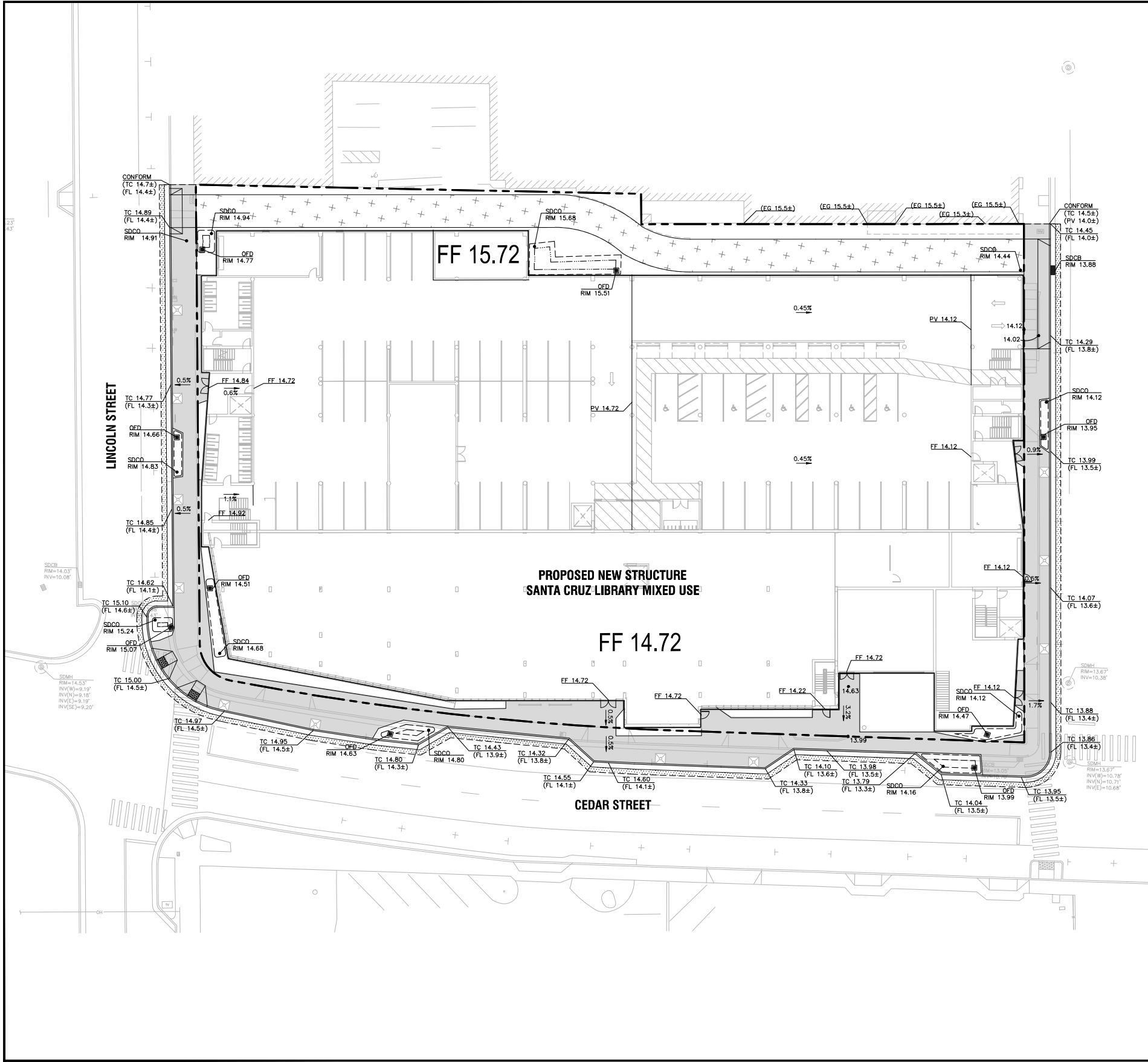


DOWNTOWN LIBRARY & AFFORDABLE HOUSING PROJECT

SANTA CRUZ, CA
DATE: 09/08/22

C2.0

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LEGEND

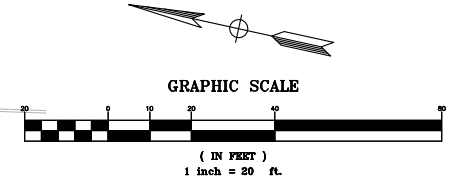
- PROPERTY LINE
- SAWCUT LINE
- BIORETENTION AREA
- VERTICAL CURB & GUTTER
- NEW CONCRETE SIDEWALK
- NEW POROUS CONCRETE
- AC DEEPLIFT
- FINISH FLOOR ELEVATION
- TOP OF CURB ELEVATION
- FLOW LINE ELEVATION
- PAVEMENT ELEVATION
- SLOPE/DIRECTION OF FLOW

FF 36.05
TC 36.05
FL 36.05
PV 36.05
SLOPE%

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SANTA CRUZ LIBRARY MIXED USE
GRADING AND DRAINAGE PLAN

SANTA CRUZ
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Revisions	No.	Date	Scale	Design	Drawn	Approved	Job No.
		09/02/2022	1" = 20'	Design	Drawn	Approved	220922

Sheet Number:
C3.0



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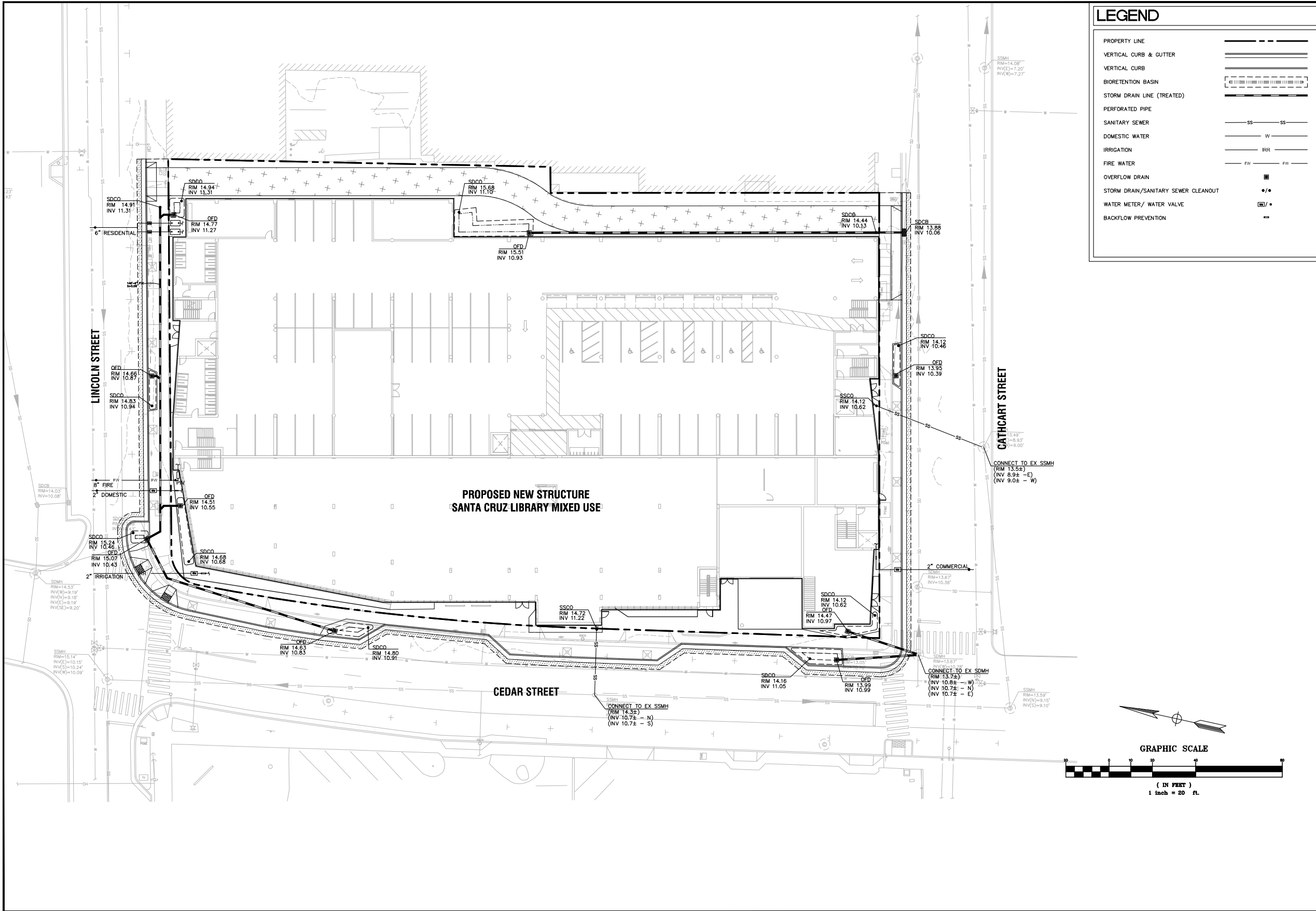
DOWNTOWN LIBRARY & AFFORDABLE HOUSING PROJECT

SANTA CRUZ, CA
DATE: 09/08/22

C3.0

GRADING & DRAINAGE
SCALE: N.T.S.

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PLOT DATE: 09-02-22 PLOTTED BY: said



LEGEND

- PROPERTY LINE
- VERTICAL CURB & GUTTER
- VERTICAL CURB
- BIORETENTION BASIN
- STORM DRAIN LINE (TREATED)
- PERFORATED PIPE
- SANITARY SEWER SS SS
- DOMESTIC WATER W
- IRRIGATION IRR
- FIRE WATER FW FW
- OVERFLOW DRAIN
- STORM DRAIN/SANITARY SEWER CLEANOUT
- WATER METER/ WATER VALVE
- BACKFLOW PREVENTION

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**SANTA CRUZ LIBRARY MIXED USE
UTILITY PLAN**

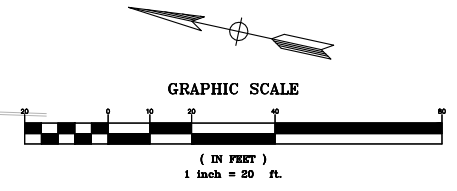
CALIFORNIA

SANTA CRUZ COUNTY

SANTA CRUZ

Revisions	No.	Date	Scale	Design	Drawn	Approved	Job No.
		09/02/2022	1" = 20'	Design	DS	AM	2209022

Sheet Number:
C4.0



UTILITY PLAN
SCALE: N.T.S.



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DOWNTOWN LIBRARY & AFFORDABLE HOUSING PROJECT

SANTA CRUZ, CA
DATE: 09/08/22

C4.0

TIER 3 RETENTION EXEMPTION SUMMARY

THE PROJECT SITE IS WITHIN A DESIGNATED URBAN SUSTAINABILITY AREA (USA)

TOTAL AREA = 66,921 SF

- STRUCTURE COVERED AREA = 56,558 SF
 - LOT AREA = 66,921 SF
 - 56,558 SF/66,921 SF = 85% SF WITHIN 0.25 MILES OF A LOCAL TRANSIT STOP
- THE PROJECT IS EXEMPT FROM RUNOFF RETENTION REQUIREMENT

Drainage Management Area (DMA)	STORMWATER CONTROL MEASURE (SCM)	TOTAL AREA (SF)	IMPERVIOUS SURFACE (SF)	PERVIOUS SURFACE (SF)	STORM WATER CONTROL MEASURE	TREATMENT AREA REQUIRED (SF) (4% IMPERVIOUS SURFACE)	TREATMENT AREA PROVIDED (SF)
A-1	-	6,186	-	6,186	POROUS PAVEMENT	-	-
A-2	B.B.2	1,422	1,004	418	BIORETENTION BASIN	40	59
A-3	B.B.3	4,450	4,257	193	BIORETENTION BASIN	170	193
A-4	B.B.4	4,345	4,112	233	BIORETENTION BASIN	164	233
A-5	B.B.5	4,333	2,859	1,474	BIORETENTION BASIN	114	117
A-6	-	9,020	-	9,020	GREEN ROOF	-	-
A-7	B.B.7	9,041	7,475	1,566	BIORETENTION BASIN	299	315
A-8	B.B.8	4,162	3,931	231	BIORETENTION BASIN	157	172
A-9	B.B.9	7,086	6,795	291	BIORETENTION BASIN	272	291
A-10	B.B.10	4,637	4,445	192	BIORETENTION BASIN	178	192
A-11	B.B.11	3,320	3,185	135	BIORETENTION BASIN	127	135
A-12	B.B.12	3,581	3,434	147	BIORETENTION BASIN	137	147
A-13	B.B.13	3,581	3,432	149	BIORETENTION BASIN	137	149
A-14	B.B.14	1,352	1,246	106	BIORETENTION BASIN	50	52
A-15	B.B.15	909	805	104	BIORETENTION BASIN	32	44
A-16	B.B.16	2,117	1,896	221	BIORETENTION BASIN	76	89
A-17	B.B.17	3,469	3,252	217	BIORETENTION BASIN	130	138
A-18	B.B.18	1,439	1,329	110	BIORETENTION BASIN	53	54

REQUIREMENT CRITERIA

- TIER 1. RUNOFF REDUCTION**
 - SITE IMPERVIOUS SURFACE IS OPTIMIZED AND IMPERVIOUS SURFACE HAS BEEN DECREASED COMPARED TO PRE-PROJECT CONDITIONS.
- TIER 2. WATER QUALITY TREATMENT**
 - BIOTREATMENT AREA IS PROVIDED (MINIMUM 4% OF NEW IMPERVIOUS SURFACE)
- TIER 3. RETENTION REQUIREMENT**
 - EXEMPT. THE PROJECT SITE IS WITHIN AN URBAN SUSTAINABILITY AREA (USA) AND MEETS ALL OF THE SMALL PARCEL REQUIREMENTS (1-2 ACRE) AND IS WITHIN 0.25 MILES OF A TRANSIT HUB.
- TIER 4. PEAK FLOW MANAGEMENT**
 - EXEMPT. CURRENT SITE IS DISCHARGING TO THE SAN LORENZO RIVER.

LEGEND

- PROPERTY LINE: _____
- DRAINAGE AREA BOUNDARY: - - - - -
- BIORETENTION BASIN: [Hatched Pattern]
- SELF TREATING AREA: [Star Pattern]
- LANDSCAPE AREA: [Dotted Pattern]
- DRAINAGE AREA #: A-#
- BIORETENTION BASIN #: BB#

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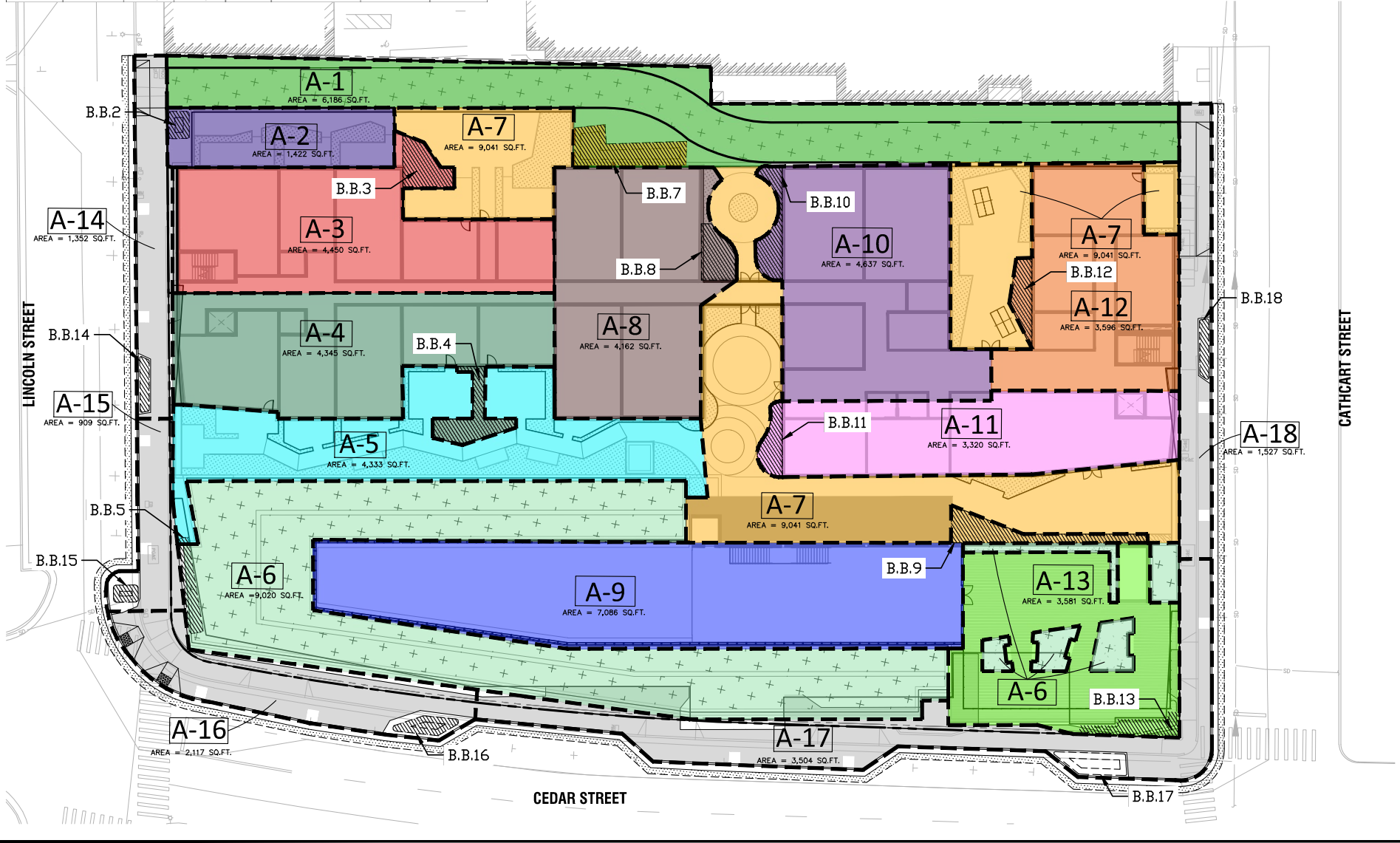
CALIFORNIA

SANTA CRUZ LIBRARY MIXED USE
 STORMWATER CONTROL PLAN

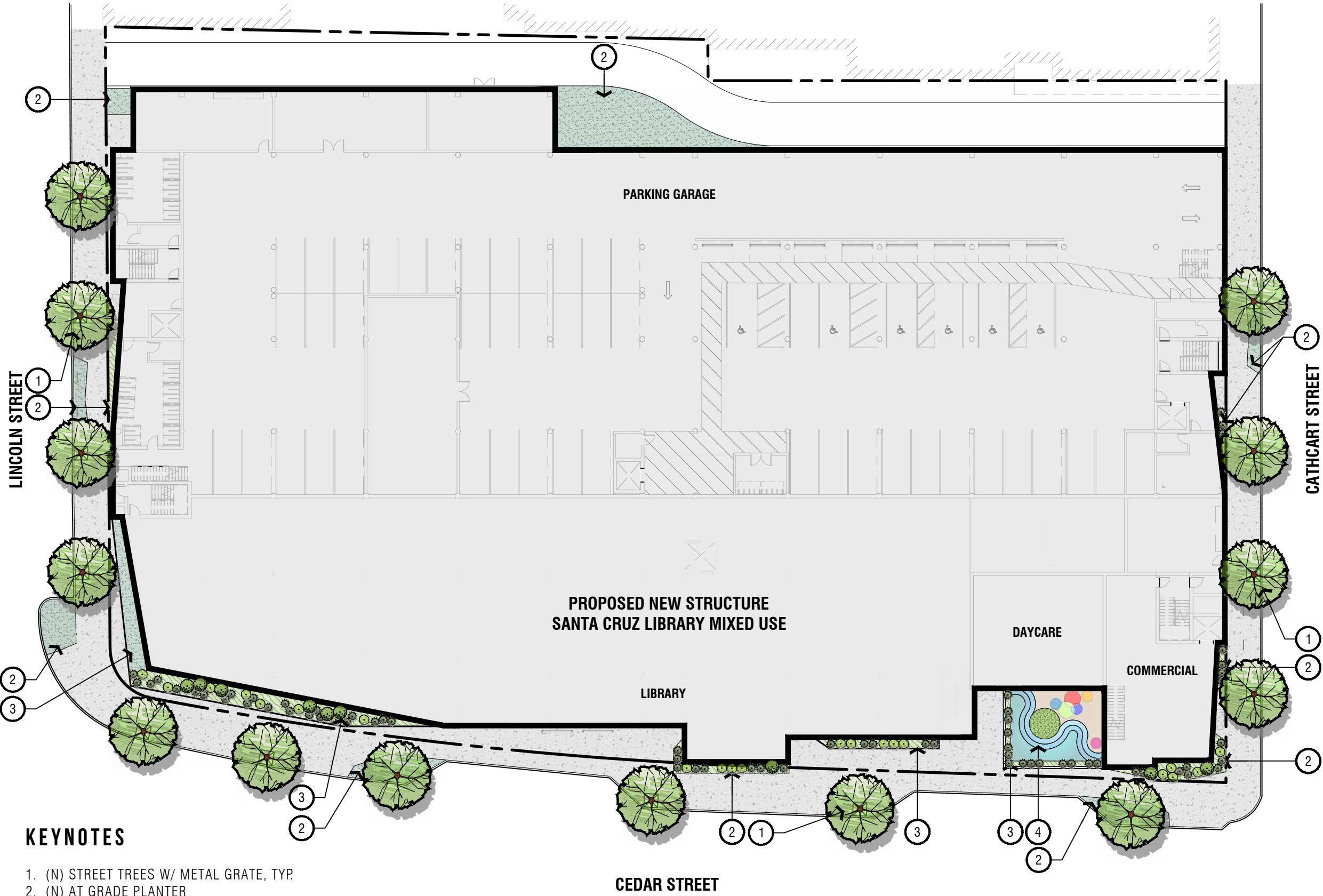
SANTA CRUZ COUNTY
 SANTA CRUZ

Revisions	No.	Date	Scale	Design/Draw	Approved	Job No.
		09/07/2022	1" = 20'			220922


Sheet Number: **C5.0**



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 PLOTTED BY: solid



LANDSCAPE SCHEDULE

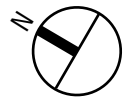
- 
CANOPY TREE / 24" BOX MIN. *such as,*
 Laurus x 'Saratoga' / Saratoga Hybrid Laurel
 Platanus x acerifolia 'Columbia' / Columbia London Plane Tree
 Pistacia chinensis / Chinese Pistache Tree
 Quercus spp. / California Native Oak Species
- 
ORNAMENTAL GRASS / 1 GAL MIN. *such as,*
 Festuca californica 'River House Blues' / River House Blues California Fescue
 Lomandra longifolia 'Roma 13' / Platinum Beauty®
 Variegated Mat Rush
 Pennisetum spathiolatum / Slender Veldt Grass
 Sesleria autumnalis 'Campo Verde' / Campo Verde
 Autumn Moor Grass
- 
FLOWERING PERENNIAL / 1 GAL MIN. *such as,*
 Drimia maritima / Sea Squill
 Epilobium canum 'Sierra Salmon' / Sierra Salmon
 California Fuchsia
 Eriogonum fasciculatum / California Buckwheat
 Santolina chamaecyparissus 'Nana' / Lavender Cotton
- 
LARGE NATIVE SHRUB / 5 GAL MIN. *such as,*
 Arctostaphylos densiflora 'Howard McMinn' / Howard McMinn Vine Hill Manzanita
 Carpenteria californica / Bush Anemone
 Fremontodendron californicum / CA Flannelbush
- 
ORNAMENTAL GROUNDCOVER / 1 GAL MIN. *such as,*
 Arctostaphylos x 'Emerald Carpet' / Emerald Carpet Manzanita
 Ceanothus griseus horizontalis 'Diamond Heights' / Diamond Heights Carmel Creeper
 Dymondia margaretae / Silver Carpet Dymondia
- 
BIORETENTION PLANTING / 4" POT MIN. *such as,*
 Carex praegracilis / California Field Sedge
 Chondropetalum tectorum 'Dwarf' / Dwarf Cape Rush
 Juncus effusus 'Carman's Japanese' / Carman's Japanese Common Rush
 Juncus patens 'Elk Blue' / Spreading Rush

KEYNOTES

1. (N) STREET TREES W/ METAL GRATE, TYP.
2. (N) AT GRADE PLANTER
3. (N) RAISED STEEL PLANTERS
4. (N) DAY CARE PLAY PATIO

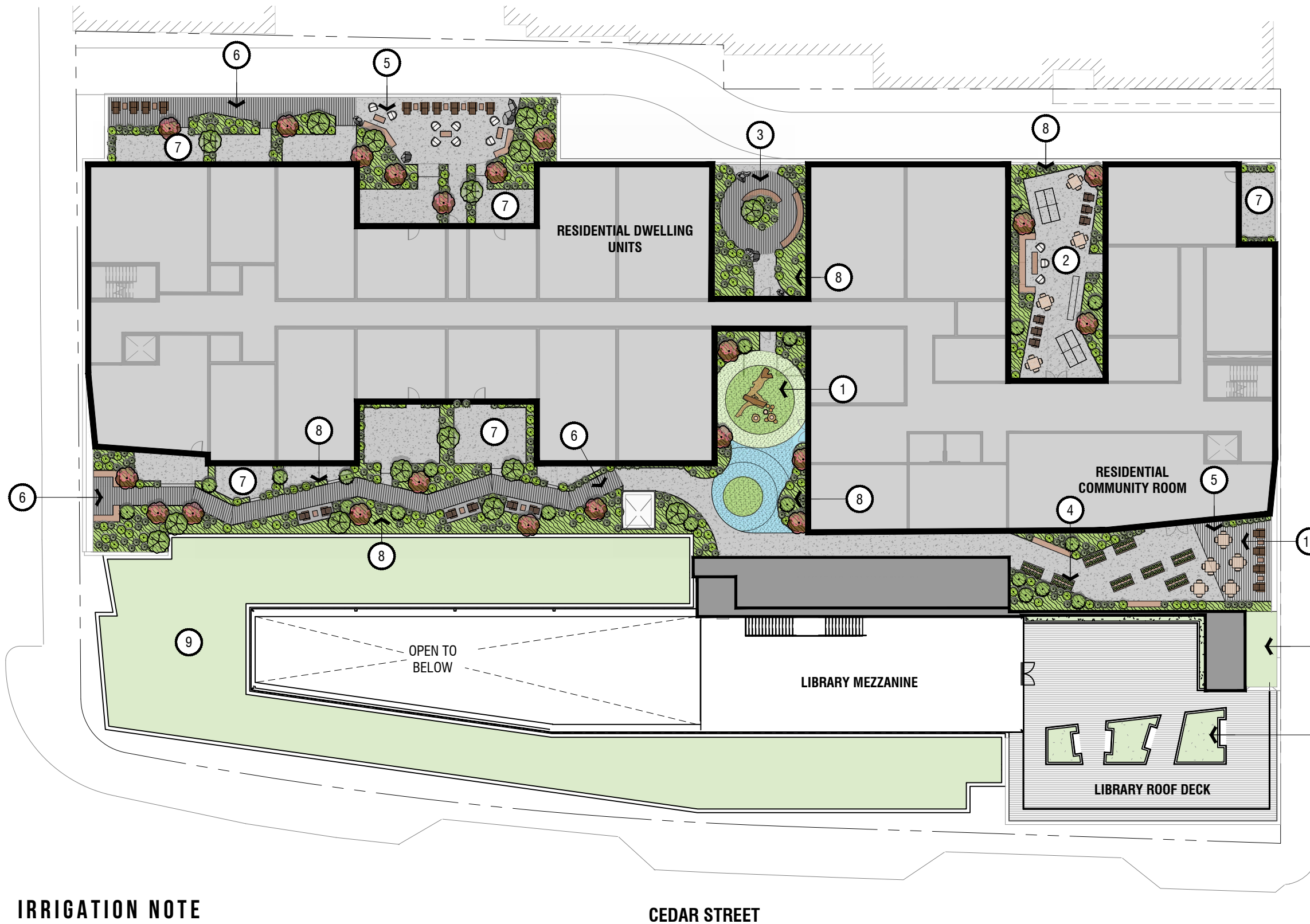
PLANTING NOTE

1. STRUCTURED SOILS OR SILVA CELLS TO BE USED UNDER SIDEWALKS IN ORDER TO ENCOURAGE TREE VITALITY AND ROOT HEALTH.

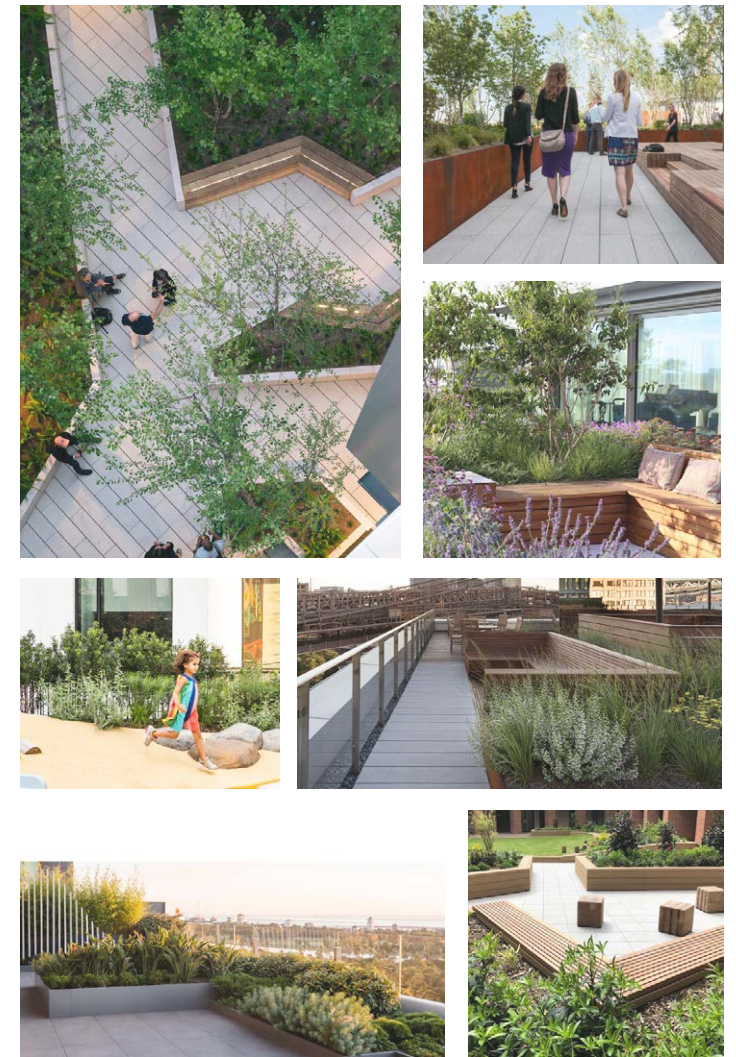


GROUND LANDSCAPE PLAN

SCALE: 1" = 30'-0"



LANDSCAPE PRECEDENTS

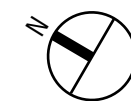


CATHCART STREET

CEDAR STREET

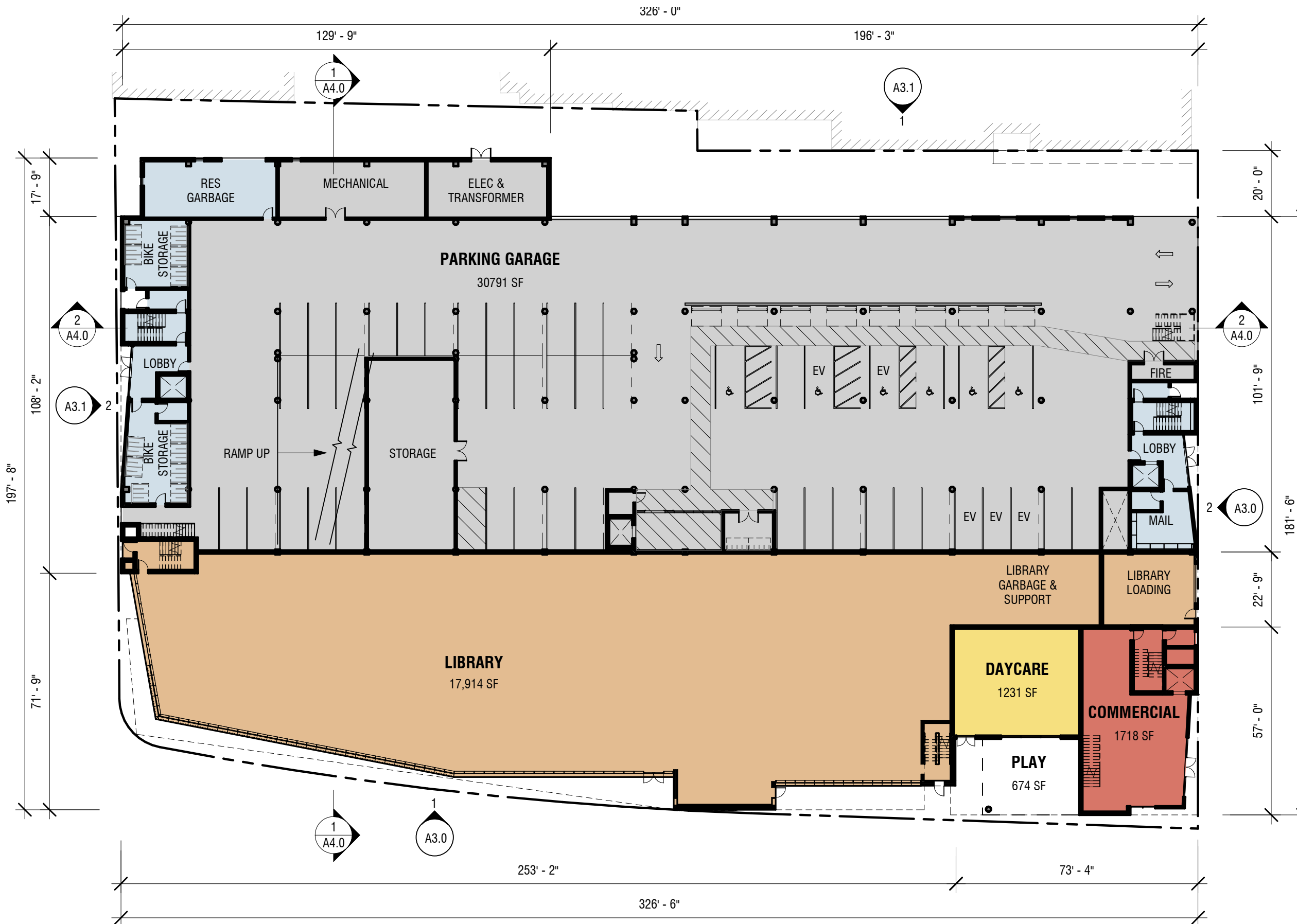
KEYNOTES

1. (N) TOT LOT, NATURE PLAY CLIMBING STRUCTURES AND PIP SURFACING
2. (N) TEEN COURTYARD WITH WEATHER PROOF SHUFFLEBOARD AND PING PONG TABLES
3. (N) PODIUM GARDEN WITH CONCRETE PLANK WALK
4. (N) RAISED VEGETABLE BEDS FOR RESIDENCE USE/ MAINTENANCE
5. (N) COMMUNITY GATHERING SPACE
6. (N) PLANK WALK, CONCRETE
7. (N) PRIVATE RESIDENCE PATIO SPACE
8. (N) RAISED STEEL PLANTERS
9. (N) GREEN ROOF, BY OTHERS
10. (N) DECK



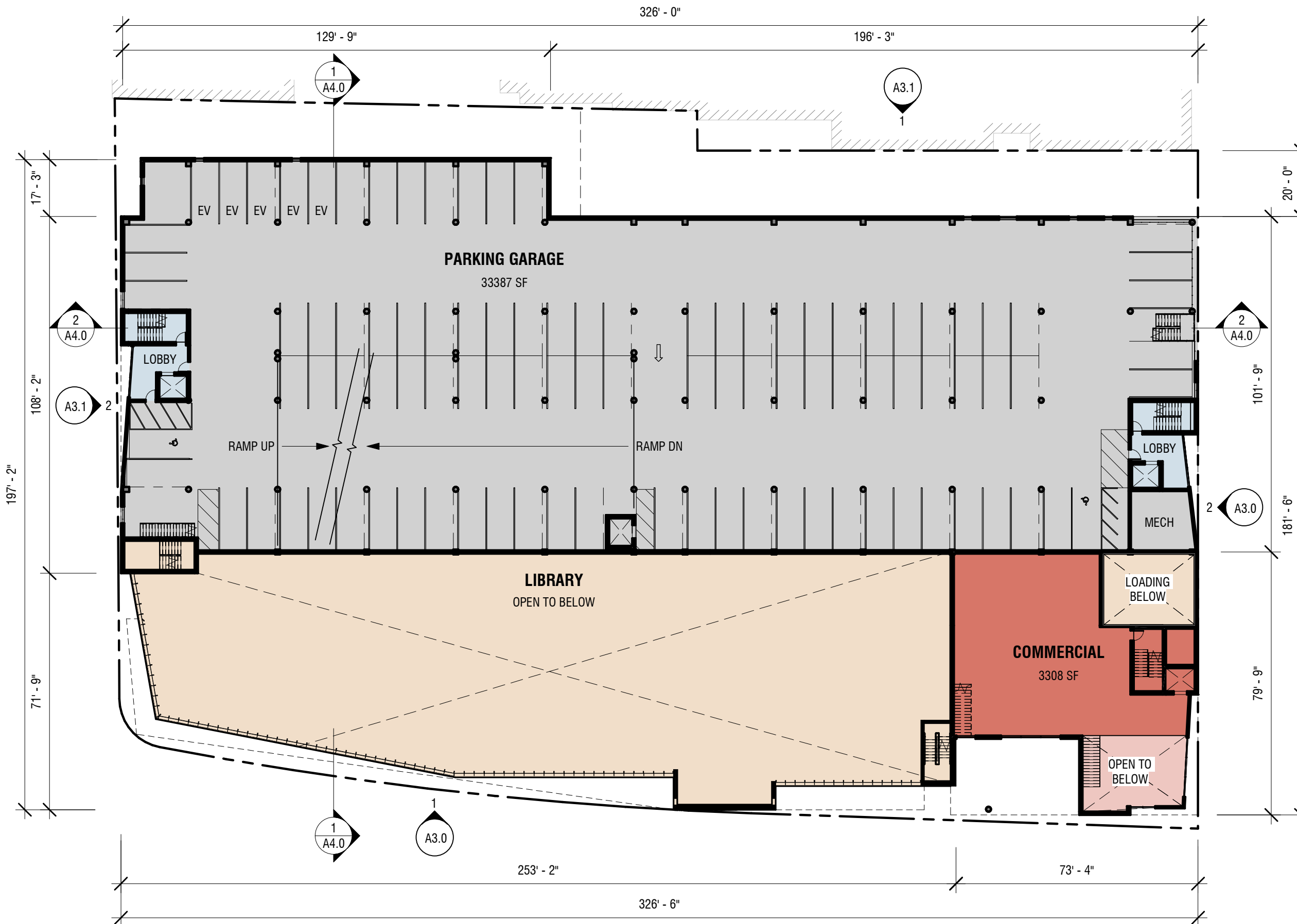
PODIUM LANDSCAPE PLAN

SCALE: 1" = 30'-0"



- LEGEND**
- GARAGE
 - COMMERCIAL
 - LIBRARY
 - DAYCARE
 - GREEN ROOF
 - 1-BEDROOM UNIT & STUDIO
 - 2-BEDROOM UNIT
 - 3-BEDROOM UNIT
 - RES. SUPPORT SPACES
 - DECK

1ST FLOOR PLAN
SCALE: 1" = 30'-0"



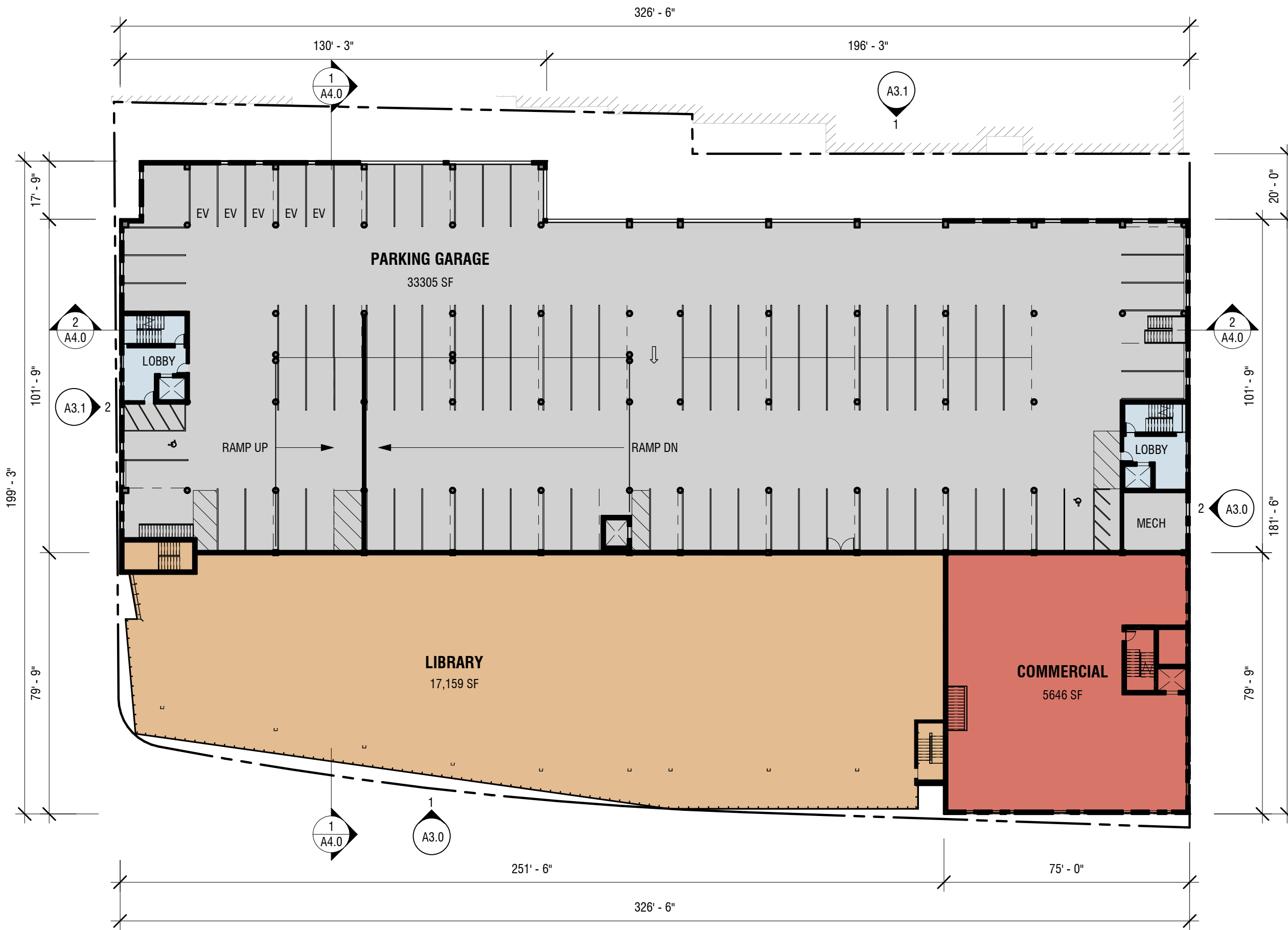
LEGEND

- GARAGE
- COMMERCIAL
- LIBRARY
- DAYCARE
- GREEN ROOF
- 1-BEDROOM UNIT & STUDIO
- 2-BEDROOM UNIT
- 3-BEDROOM UNIT
- RES. SUPPORT SPACES
- DECK



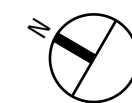
2ND FLOOR PLAN

SCALE: 1" = 30'-0"



LEGEND

- GARAGE
- COMMERCIAL
- LIBRARY
- DAYCARE
- GREEN ROOF
- 1-BEDROOM UNIT & STUDIO
- 2-BEDROOM UNIT
- 3-BEDROOM UNIT
- RES. SUPPORT SPACES
- DECK



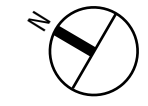
3RD FLOOR PLAN

SCALE: 1" = 30'-0"



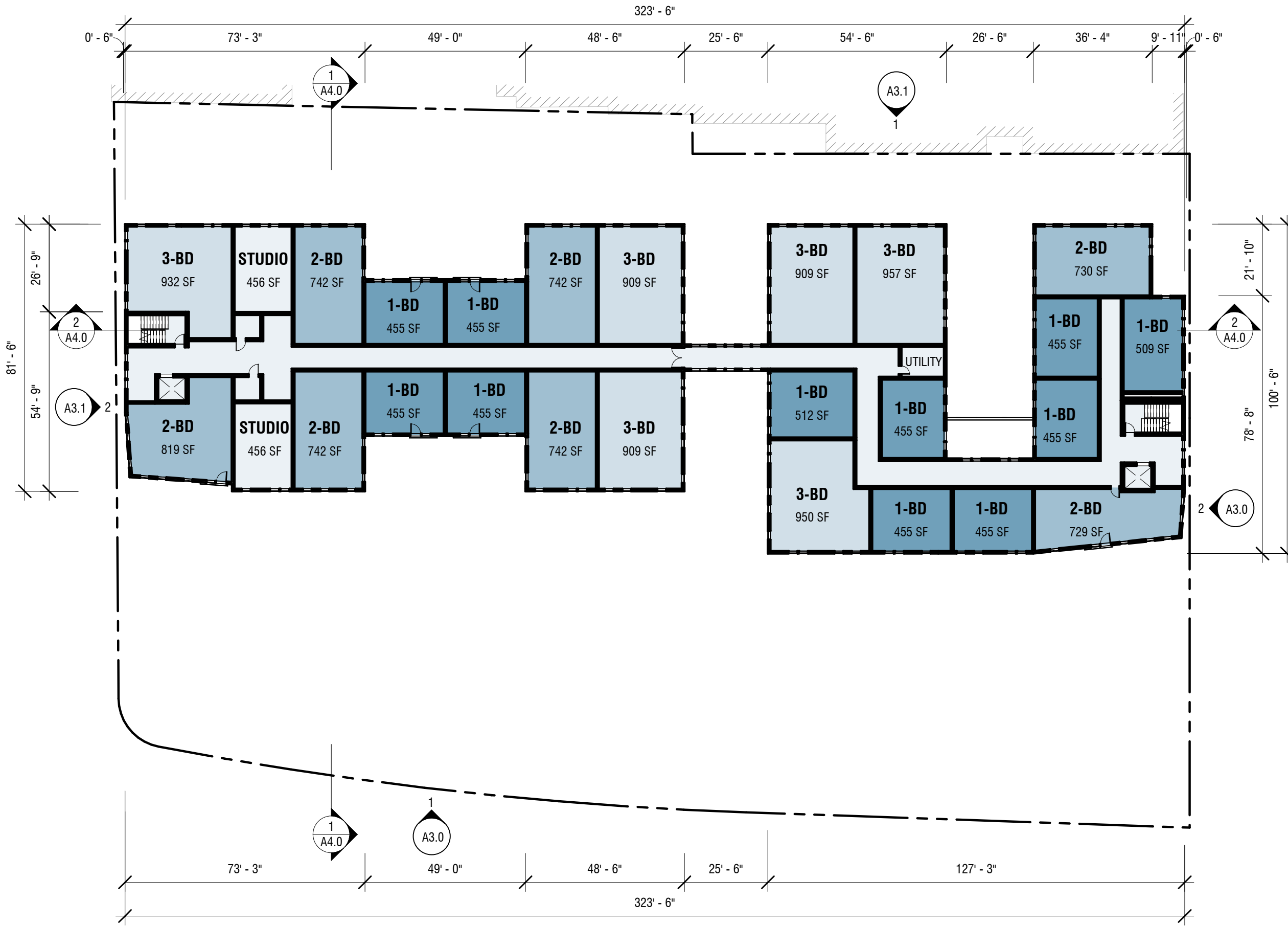
LEGEND

- GARAGE
- COMMERCIAL
- LIBRARY
- DAYCARE
- GREEN ROOF
- 1-BEDROOM UNIT & STUDIO
- 2-BEDROOM UNIT
- 3-BEDROOM UNIT
- RES. SUPPORT SPACES
- DECK



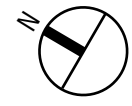
4TH FLOOR PLAN

SCALE: 1" = 30'-0"



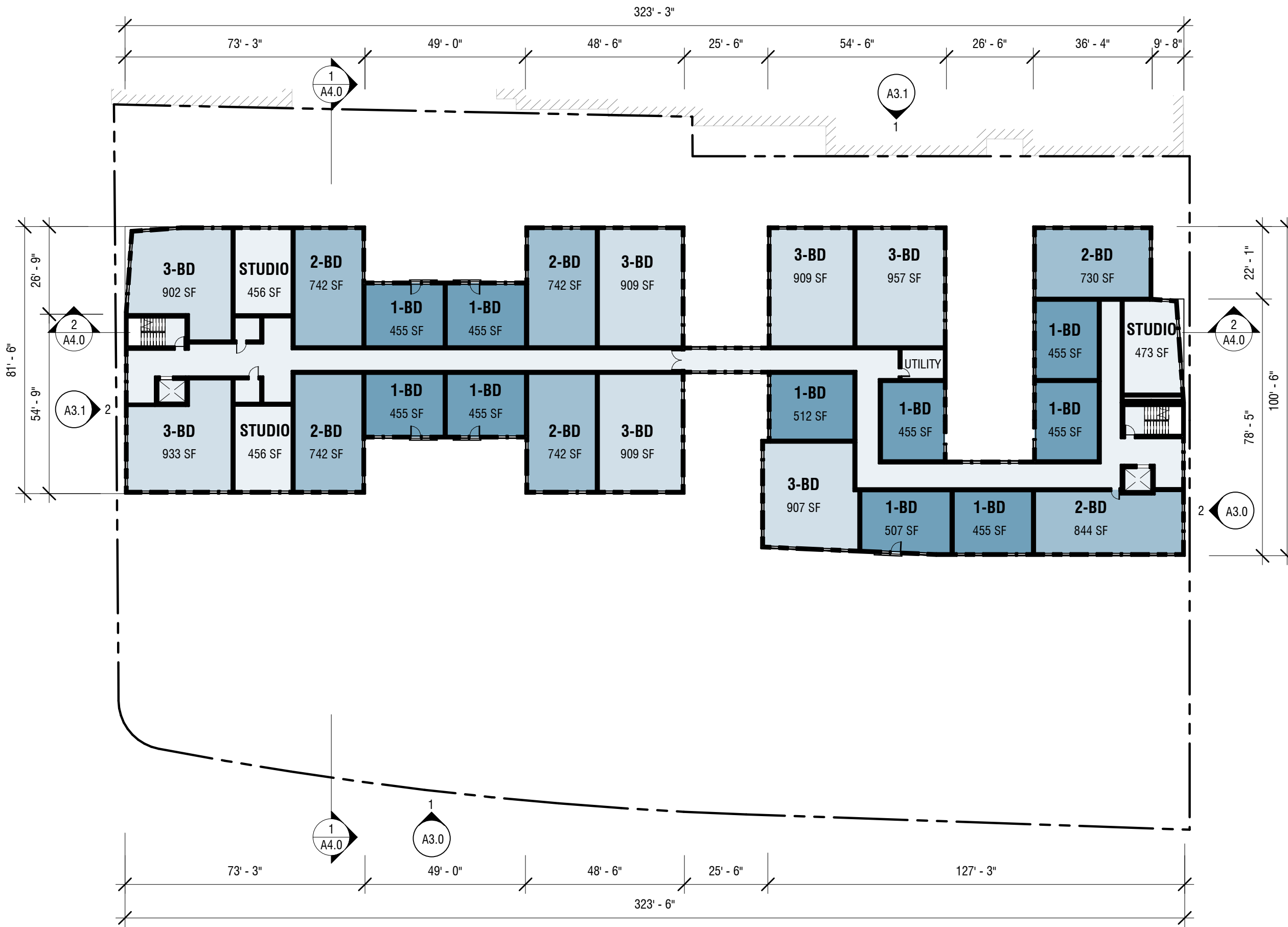
LEGEND

- GARAGE
- COMMERCIAL
- LIBRARY
- DAYCARE
- GREEN ROOF
- 1-BEDROOM UNIT & STUDIO
- 2-BEDROOM UNIT
- 3-BEDROOM UNIT
- RES. SUPPORT SPACES
- DECK



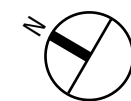
5TH-6TH FLOOR PLAN

SCALE: 1" = 30'-0"



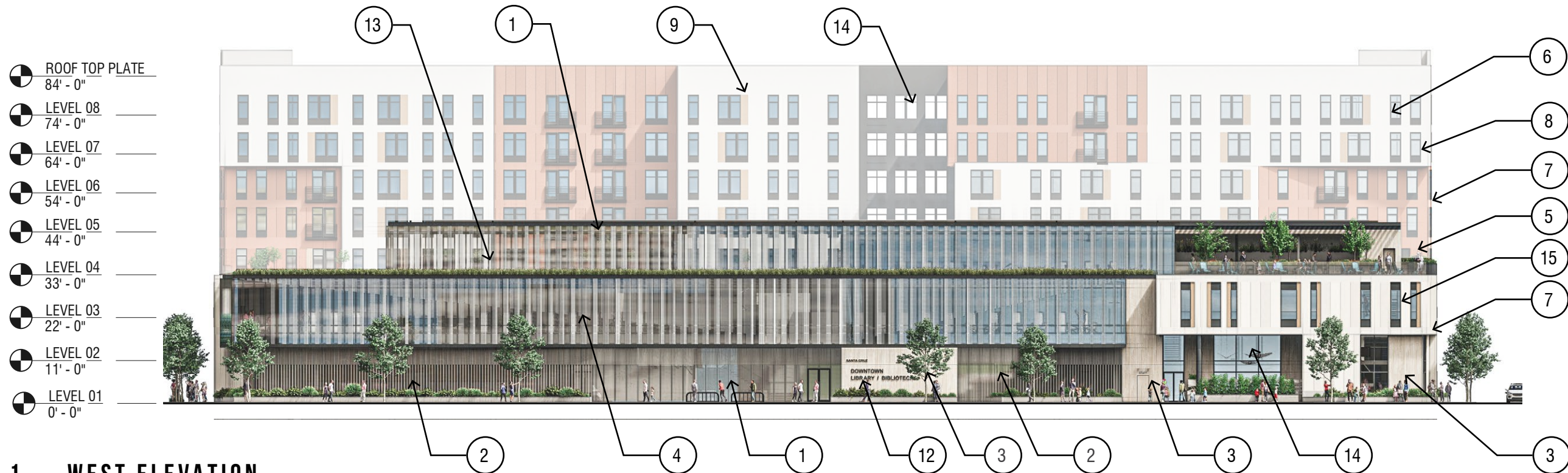
LEGEND

- GARAGE
- COMMERCIAL
- LIBRARY
- DAYCARE
- GREEN ROOF
- 1-BEDROOM UNIT & STUDIO
- 2-BEDROOM UNIT
- 3-BEDROOM UNIT
- RES. SUPPORT SPACES
- DECK



7TH-8TH FLOOR PLAN

SCALE: 1" = 30'-0"



1 WEST ELEVATION

SCALE: 1" = 30'-0"

TOP OF ROOFTOP ACCESS STAIR: 95'-0"

TOP OF PARAPET: 91'-0"



2 SOUTH ELEVATION

SCALE: 1" = 30'-0"

KEYNOTES

1. GLASS CURTAINWALL
2. GLASS CURTAINWALL WITH WOOD SLAT RAINSCREEN SYSTEM
3. WEATHERED WOOD TONGUE & GROOVE SIDING
4. GLASS CURTAINWALL WITH FRIT PATTERN
5. GLASS RAILING AT LIBRARY ROOF DECK
6. VINYL WINDOWS WITH BLACK EXTERIOR FINISH (AT RESIDENTIAL AREAS ONLY)
7. 3-TONE INTEGRAL COLOR STUCCO WITH METAL TRIM
8. SINGLE TONE FIELD COLOR INTEGRAL STUCCO
9. ACCENT INTEGRAL COLOR AT STUCCO AT WINDOWS
10. HORIZONTAL CONCRETE BASE, BOARD FORM TEXTURE
11. OPEN AIR OPENING AT GARAGE
12. MAIN BUILDING SIGNAGE
13. GREEN ROOF
14. GLASS STOREFRONT
15. THERMALLY BROKEN ALUMINUM WINDOWS



1 EAST ELEVATION

SCALE: 1" = 30'-0"

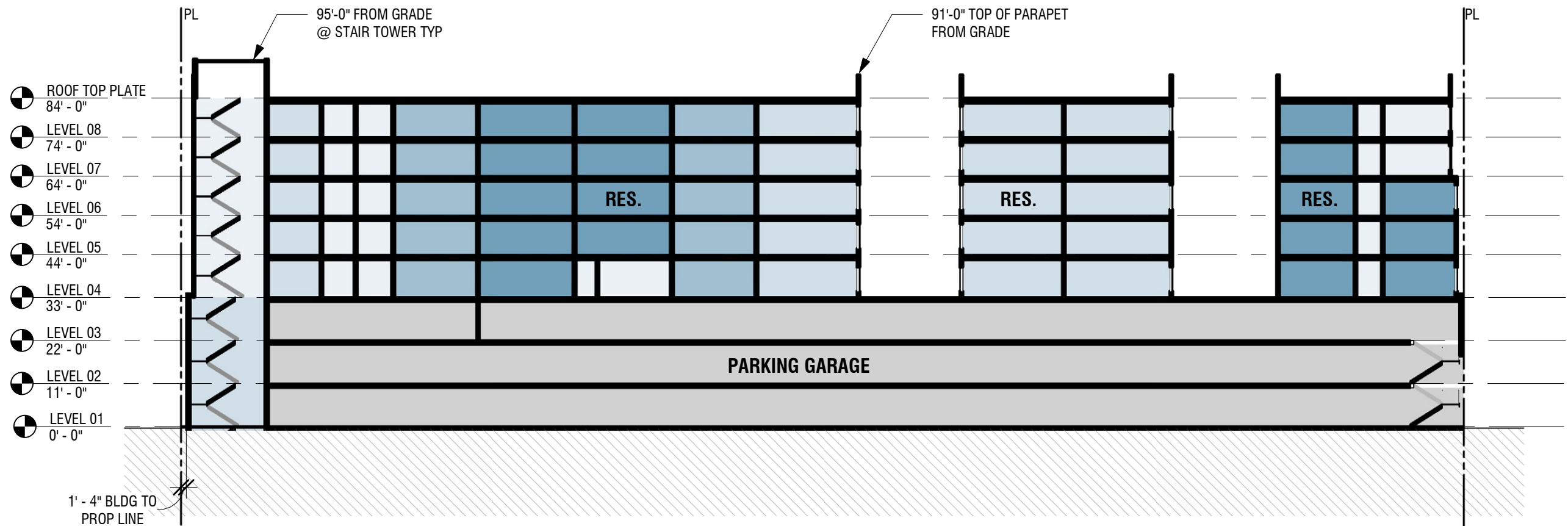


2 NORTH ELEVATION

SCALE: 1" = 30'-0"

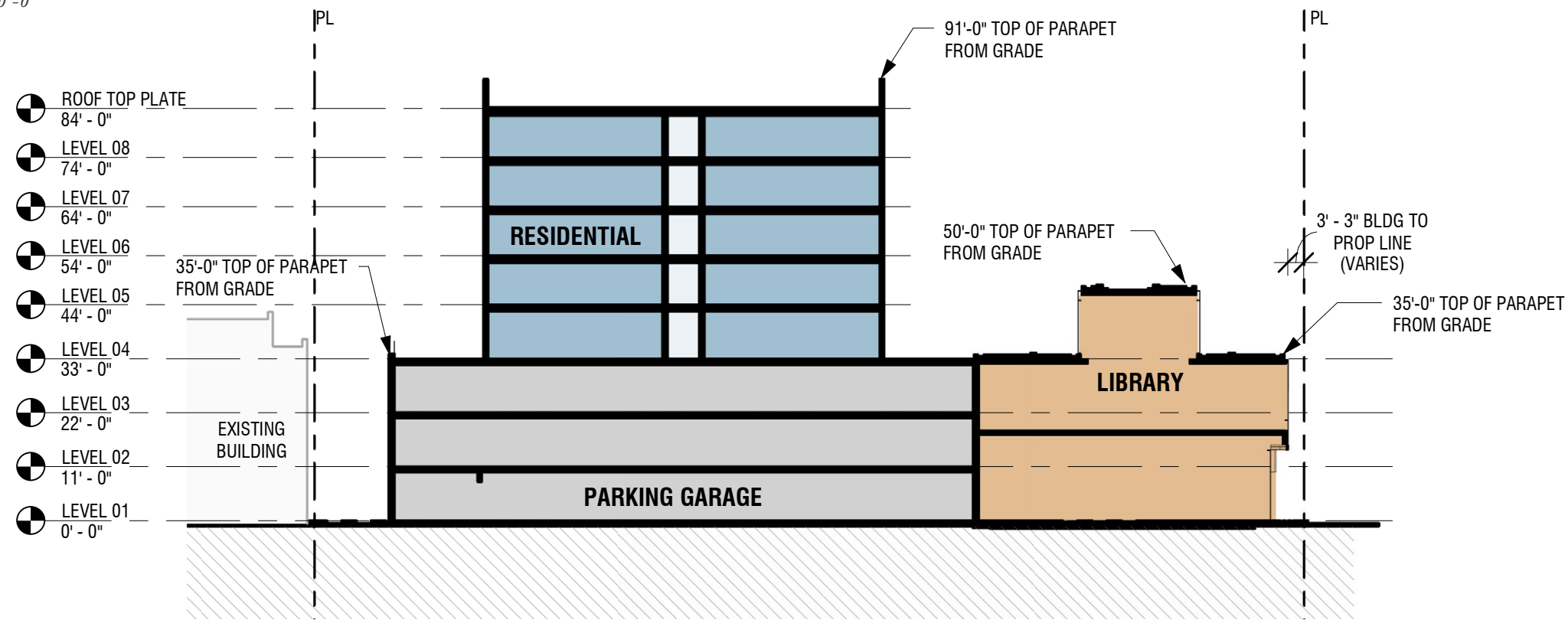
KEYNOTES

1. GLASS CURTAINWALL
2. GLASS CURTAINWALL WITH WOOD SLAT RAINSCREEN SYSTEM
3. WEATHERED WOOD TONGUE & GROOVE SIDING
4. GLASS CURTAINWALL WITH FRIT PATTERN
5. GLASS RAILING AT LIBRARY ROOF DECK
6. VINYL WINDOWS WITH BLACK EXTERIOR FINISH (AT RESIDENTIAL AREAS ONLY)
7. 3-TONE INTEGRAL COLOR STUCCO WITH METAL TRIM
8. SINGLE TONE FIELD COLOR INTEGRAL STUCCO
9. ACCENT INTEGRAL COLOR AT STUCCO AT WINDOWS
10. HORIZONTAL CONCRETE BASE, BOARD FORM TEXTURE
11. OPEN AIR OPENING AT GARAGE
12. MAIN BUILDING SIGNAGE
13. GREEN ROOF
14. GLASS STOREFRONT
15. THERMALLY BROKEN ALUMINUM WINDOWS



1 NORTH-SOUTH SECTION

SCALE: 1" = 30'-0"



2 EAST-WEST SECTION

SCALE: 1" = 30'-0"

LEGEND

- GARAGE
- COMMERCIAL
- LIBRARY
- DAYCARE
- GREEN ROOF
- 1-BEDROOM UNIT & STUDIO
- 2-BEDROOM UNIT
- 3-BEDROOM UNIT
- RES. SUPPORT SPACES
- DECK

BUILDING SECTIONS

SCALE: 1" = 30'-0"



TENOVER

TO LEAVE THE WORLD
BETTER THAN WE
FOUND IT.

