

OWNER REP

STRUCTURAL  
STRUCTURAL CONSULT  
XXX

ARCHITECT OF RECORD

CONTACT:  
EMAIL:  
MECHANICAL  
MECHANICAL CONSULT  
XXX

GENERAL CONTRACTOR

CONTACT:  
EMAIL:  
PLUMBING  
PLUMBING CONSULT  
XXX

CIVIL  
CIVIL CONSULT  
XXX

CONTACT:  
EMAIL:  
ELECTRICAL  
ELECTRIC CONSULT  
XXX

CONTACT:  
EMAIL:

CONTACT:  
EMAIL:

LANDSCAPE  
LANDSCAPE CONSULT  
XXX

CONTACT:  
EMAIL:



1020 RIVER STREET | SANTA CRUZ, CA

GENERAL NOTES:

- 1. THE PROPOSED OCCUPANCY WILL NOT STORE OR USE HAZARDOUS MATERIALS IN EXCESS OF THOSE ALLOWED IN CEC 301 UNLESS STORED OR UTILIZED IN CONTROLLED AREAS OR RECLASSIFIED AS A HIGH-HAZARDOUS OCCUPANCY (GROUP H) PER CBC AND CFC.
2. BUILDING DESIGN NATURAL GAS FREE AS REQUIRED BY S.C.M.C. 5.100.

GENERAL NOTES

- 1. ALL PRODUCTS AND MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH INDUSTRY STANDARDS AND MANUFACTURER'S RECOMMENDATIONS.
2. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS AND ELEVATIONS SHALL ALWAYS TAKE PRECEDENCE OVER SCALE DIMENSIONS INFORM THE ARCHITECT OF ANY DISCREPANCIES.
3. DIMENSIONS SHOWN ON ARCH. PLANS ARE TO FACE OF WOOD STUD/CENTRELINE OF METAL STUD, UNLESS OTHERWISE NOTED OR INDICATED.
4. DIMENSIONS MARKED +/- ARE FLEXIBLE AND CAN CHANGE AS REQ'D. TO FIT. DIMENSIONS NOT SO MARKED SHALL TAKE PRECEDENCE OVER +/- DIMENSIONS.
5. REPORT ANY DISCREPANCIES IN DIMENSIONS TO ARCHITECT FOR CLARIFICATION.
6. VERIFY ALL EXISTING SITE CONDITIONS, SITE DIMENSIONS, AND GRADES PRIOR TO START OF WORK. IF ANY DISCREPANCIES OCCUR BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS, NOTIFY THE ARCHITECT AT ONCE.
7. SITE ACCESSIBILITY IS SUBSTANTIALLY IN COMPLIANCE WITH CALIF. TITLE 24 REQUIREMENTS, TO BE VERIFIED IN FIELD. IF NEEDED APPLICABLE PLANS, DETAILS & SPECIFICATIONS MUST BE APPROVED PRIOR TO FINAL INSPECTION.
8. CONFORM TO THE RECOMMENDATIONS OF THE SOILS REPORT PREPARED BY:
9. CONNECTIONS TO EXISTING PUBLIC UTILITIES SHALL BE DONE WITH APPROVAL AND IN ACCORDANCE WITH THE UTILITY CO. REQUIREMENTS.
10. CONTRACTORS SHALL PROTECT ALL EXISTING SITE IMPROVEMENTS NOT SCHEDULED FOR REMOVAL DURING CONSTRUCTION. THEY SHALL REPAIR ANY DAMAGE TO NEW CONSTRUCTION AT THEIR EXPENSE.
11. DO NOT CONNECT OR SUSPEND ANY ITEM FROM STRUCTURE WITHOUT PRIOR APPROVAL FROM THE STRUCTURAL ENGINEER PARTITION CONNECTION & ANCHORING TO FIRE RATING IS NOT ALLOWED.
12. WORK MAY BE OBSERVED BY THE ARCHITECT AND THE OWNER'S REPRESENTATIVES FOR CONFORMITY WITH THE CONSTRUCTION DOCUMENTS AND SCOPE OF WORK. WORK COVERED OR CONCEALED BEFORE BEING OBSERVED SHALL BE OPENED AND UNCOVERED UPON REQUEST. THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE ARCHITECT AND THE OWNER OF ALL REQUIRED OBSERVATIONS IN ADVANCE. NO ALLOWANCE SHALL SUBSEQUENTLY BE MADE IN THE CONTRACTOR'S BEHALF FOR ANY NEGLECT IN ADHERING TO THIS REQUIREMENT.
13. FOR METAL STUD INTERIOR PARTITION WALL SIZE, GAUGE AND SPACING, SEE WALL DETAILS AND SCHEDULE.
14. GYPSUM BOARD FOR NON-FIRE RESISTIVE WALLS TO BE 5/8" THICK U.S.D.
15. GYPSUM BOARD FOR FIRE RESISTIVE WALLS TO BE TYPE "X" 5/8" THICK U.S.D.
16. ALL FIRE RESISTIVE PARTITIONS SHALL BE CONSTRUCTED IN COMPLIANCE WITH UL TESTING REQUIREMENTS AND MANUFACTURER'S RECOMMENDATIONS FOR CONDITIONS AS REQUIRED.
17. USE 5/8" THICK MOISTURE RESISTANT GYPSUM BOARD AT ALL WALLS IN TOILET ROOMS AND SHOWER AREAS AND AT ALL WALLS SCHEDULED TO RECEIVE CERAMIC TILES.
18. ALL DUCT AND CONDUIT PENETRATIONS THROUGH PARTITIONS SHALL BE FIRE SEALED OR ACOUSTICALLY SEALED.
19. ALL SHAFT ENCLOSURES CONTAINING AIR NOT IN DUCTS SHALL BE SEALED AIRTIGHT.
20. TAPE, BED AND FINISH ALL DRYWALL CORNERS AND JOINTS READY FOR FINISH.
21. HEIGHT OF FURNITURE PARTITIONS IN OPEN OFFICE AREA SHALL NOT EXCEED 5'-0".
22. LIGHT SWITCH/MOTION SENSOR ASSEMBLIES SHALL BE PROVIDED IN APPROPRIATE GANG BOX TO MEET TITLE 24.
23. ALL RECEPTACLES & PHONE/DATA JACKS SHALL BE STANDARD PLATES IN MANUFACTURER'S STANDARD TRIM COLOR. TO BE APPROVED BY ARCHITECT, MOUNTED VERTICALLY LEVEL WITH ELECTRICAL RECEPTACLES. U.S.D.
24. EXIT SIGNS ARE TO BE GREEN LED. IN WHITE THERMOPLASTIC HOUSING. T1. TO MATCH SHELL STANDARD.

ABBREVIATIONS

Table with 3 columns: Abbreviation, Full Name, and Notes. Includes entries like ACOUS (ACoustical), ADU (ADJUSTABLE), AFF (ABOVE FINISH FLOOR), ALUM. (ALUMINUM), ALT. (ALTERNATE), ARCH. (ARCHITECT), AC. (ASPHALTIC CONCRETE), A/C (AIR CONDITIONING), @ (AT), & (AND), BSMT (BASEMENT), BLK'G (BLOCKING), BOT (BOTTOM), BM (BEAM), CLG (CEILING), CLR (CLEAR), CLR (CENTER LINE), CT (CERAMIC TILE), CO (CLEAN OUT), CONT (CONTINUOUS), DIA (DIAMETER), DIM (DIMENSION), DN (DOWN), DSP (DISPENSER), [E] (EXISTING), EL (ELEVATION), EQ (EQUAL), EXT (EXTERIOR), FF (FINISH FLOOR), FF (FINISH FACE), FD (FLOOR DRAIN), FE (FIRE EXTINGUISHER), FID (FIGURE IT OUT), FL (FLOOR), FLUOR (FLUORESCENT), FOC (FACE OF CONCRETE), FOS (FACE OF STUD), FP (FACE OF PLY), FR (FIRE RESISTIVE), FS (FACE OF STUD), FURN (FURNISHING), GA (GAUGE), GB (GYPSUM BOARD), GL (GLASS), GSM (GALVANIZED SHEET), MTL (METAL), GYP BD (GYPSUM BOARD), HT (HEIGHT), HM (HOLLOW METAL), HR (HDLR), HC (HANDICAPPED), HDWD (HARDWOOD), HDW (HARDWARE), INSUL (INSULATION), INT (INTERIOR), UNO (UNLESS OTHERWISE NOTED), UNL (UNLESS NOTED OTHERWISE), VIF (VERIFY IN FIELD), VCT (VINYL COMPOSITION TILE), W (WIDE), W/ (WITH), WC (WALL COVERING), WCL (WATER CLOSET), WG (WIRE GLASS).

PROJECT SUMMARY

DESCRIPTION OF WORK: THE PROJECT CONSISTS OF: ONE STEEL FRAMED BUILDING CONSISTING OF 5,360 SF WITH A MECH. PLATFORM
SITE INFORMATION: ASSESSORS PARCEL NO: 008-661-14, SITE AREA: 6,706 SF, DIMP LINE BUILDING AREA: 6,500 SF, INTERIOR FINISH BUILDING AREA: 5,932 SF, LOT COVERAGE: 96.9%, FLOOR AREA RATIO: 81%, PARKING PROVIDED: 1,250 SF = 22, STANDARD: 83, COMPACT: 0, ACCESSIBLE: 8, TOTAL = 94
LANDSCAPE AREA: 0 SF, LANDSCAPE COVERAGE: 0%, FLOOD ZONE DESIGNATION: AE
ALLOWABLE AREA CALCULATIONS: PER TABLE 506.2, FOR OCCUPANCY CLASSIFICATION A-3, SPRINKLERED, ONE STORY, TYPE V-B = 24,000 SQ FEET MAXIMUM
INSULATION REQUIREMENTS: FLOORS: R-0, WALLS: > EXTERIOR R-XX, > INTERIOR R-19, ROOF: R-30, STOREFRONT GLASS & DOORS: NFRC 200
SYMBOLS: SECTION CUT NUMBER, DRAWING SHEET NUMBER, SPECIFIC ELEVATION, DRAWING SHEET NUMBER, SPECIFIC ELEVATION, DRAWING SHEET NUMBER, DETAIL NUMBER, DRAWING SHEET NUMBER, OFFICE ROOM NAME, ROOM NUMBER

INDEX OF DRAWINGS

GENERAL: COVER SHEET AND PROJECT INFORMATION, MECHANICAL: CALIFORNIA MECHANICAL CODE, CALIFORNIA ELECTRICAL CODE, CALIFORNIA PLUMBING CODE, CALIFORNIA FIRE CODE, CALIF. GREEN BUILDING STANDARDS
ARCHITECTURAL: SITE CAP PLAN, MASTER SITE & PARKING PLAN, SITE PLAN, GROUND LEVEL PLAN, EQUIPMENT PLATFORM PLAN, ROOF LEVEL PLAN, BUILDING ELEVATIONS, BUILDING SECTIONS, BUILDING SECTIONS, EXTERIOR LIGHTING STANDARDS
CIVIL (FOR REFERENCE ONLY): LOT LINE EXHIBIT, SITE UTILITY PLAN
CODE COMPLIANCE: ALL WORK PERFORMED UNDER THIS CONTRACT SHALL BE IN ACCORDANCE WITH THE FOLLOWING CODES AND REGULATIONS AS APPROVED & AMENDED BY THE CITY OF
BUILDING INFORMATION: NUMBER OF STORES: 1, AREA PER STORY: 1ST FLOOR: 5,434 SF, TOTAL = 5,434 SF
FIRE RESISTIVE REQUIREMENTS: STRUCTURE FRAME: 0 HOUR, EXTERIOR BEARING WALLS: 0 HOUR, INTERIOR BEARING WALLS: 0 HOUR, EXTERIOR NON-BEARING WALLS & PARTITIONS: 0 HOUR, FLOOR CONSTRUCTION: 0 HOUR, ROOF CONSTRUCTION: 0 HOUR
PLUMBING FIXTURE COUNT: FOR A-3 OCCUPANCY: 5,360/30 = 179 TOTAL, 179/2 = 90 OCCUPANTS PER SEX
MINIMUM FIXTURES PER TABLE 422.1 FOR A-3 OCCUPANCY:
FIXTURES REQUIRED: MEN: 1, WOMEN: 1, TOILET: 1, SINK: 1, URINAL: 1, SINK: 1
DRINKING FOUNTAIN: 1, JANITOR'S SINK: 1
FIXTURES PROVIDED: MEN: 2, WOMEN: 2, TOILET: 2, SINK: 2, URINAL: 1, SINK: 2
DRINKING FOUNTAIN: 1, JANITOR'S SINK: 1

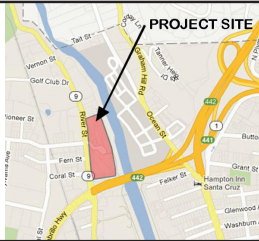
MECHANICAL

MECHANICAL: CALIFORNIA MECHANICAL CODE, CALIFORNIA ELECTRICAL CODE, CALIFORNIA PLUMBING CODE, CALIFORNIA FIRE CODE, CALIF. GREEN BUILDING STANDARDS
ELECTRICAL:
PLUMBING:

STRUCTURAL

STRUCTURAL:

VICINITY MAP



CONTRACTOR SHALL VERIFY ALL JOB CONDITIONS AND DIMENSIONS. VARIATIONS THEREOF FROM THE DRAWINGS MUST BE REPORTED TO THE ARCHITECT. DETAILS INDICATED ON THE DRAWINGS ARE REPRESENTATIVE AND TYPICAL. ALL ATTACHMENTS AND CONNECTIONS SHALL CONFORM TO BEST PRACTICE AND SHALL BE THE CONTRACTOR'S RESPONSIBILITY.

REVISIONS

Table with columns: NO., DATE, DESCRIPTION, BY. Contains one revision entry.

COVER SHEET AND PROJECT INFORMATION. SHEET NO. G0.1. JOB NO., DATE: 09/15/20, DRAWN: ISSUE: PLANNING SUBMITTAL, OF SHEETS.



VIEW 1: MAIN ENTRY VIEW



VIEW 2: ALLEY BETWEEN THEATER AND DANCE STUDIO

**GENERAL NOTE:**  
 CONTRACTOR SHALL FIELD VERIFY ALL JOB CONDITIONS AND DIMENSIONS. VARIATIONS THEREOF FROM THE DRAWINGS MUST BE REPORTED TO THE ARCHITECT. DETAILS INDICATED ON THE DRAWINGS ARE REPRESENTATIVE AND TYPICAL. ALL ATTACHMENTS AND CONNECTIONS SHALL CONFORM TO BEST PRACTICE AND SHALL BE THE CONTRACTOR'S RESPONSIBILITY.

**REVISIONS**

NO.	DATE	DESCRIPTION	BY

**CONCEPTUAL RENDERINGS**

JOB NO.	SHEET NO.
DATE: 09/15/2020	<b>G0.5</b>
DRAWN:	
CHECKED:	
ISSUE: PLANNING SUBMITTAL	OF SHEETS



VIEW 3: VIEW OF LOBBY



VIEW 4: VIEW OF LOBBY

**GENERAL NOTES:**  
 CONTRACTOR SHALL FIELD VERIFY ALL JOB CONDITIONS AND DIMENSIONS. VARIATIONS THEREOF FROM THE DRAWINGS MUST BE REPORTED TO THE ARCHITECT. DETAILS INDICATED ON THE DRAWINGS ARE REPRESENTATIVE AND TYPICAL. ALL ATTACHMENTS AND CONNECTIONS SHALL CONFORM TO BEST PRACTICE AND SHALL BE THE CONTRACTOR'S RESPONSIBILITY.

**REVISIONS**

NO.	DATE	DESCRIPTION	BY

**CONCEPTUAL RENDERINGS**

JOB NO.	SHEET NO.
DATE: 09/15/20	<b>G0.6</b>
DRAWN:	
CHECKED:	
ISSUE: PLANNING SUBMITTAL	OF SHEETS



VIEW 5: INTERIOR OF DANCE STUDIO #1



VIEW 6: VIEW FROM PARKING AREA

GENERAL NOTE:  
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**REVISIONS**

NO.	DATE	DESCRIPTION	BY

**CONCEPTUAL RENDERINGS**

JOB NO.:	SHEET NO.
DATE:	<b>G0.7</b>
DRAWN:	
CHECKED:	
ISSUE: PLANNING SUBMITTAL	
	OF SHEETS

A5.602  
CALGreen VERIFICATION GUIDELINES  
MANDATORY MEASURES CHECKLIST  
(2019 SUPPLEMENT effective July 1, 2021)

Application: This checklist shall be used for nonresidential projects that meet one of the following: new construction, building additions of 1,000 square feet or greater, or building alterations with a permit valuation of \$200,000 or more pursuant to Section 301.3 AND do not trigger a Tier 1 or Tier 2 requirement.

Y = Yes (section has been selected and/or included)  
N/A = Not Applicable (code section does not apply to the project—mainly used for additions and alterations)  
O = Other (provide explanation)  
[N] = New construction pursuant to Section 301.3  
[A] = Additions and/or Alterations pursuant to Section 301.3

Chapter 5 Divisions

Requirement	SECTION TITLE	DIVISION 5.1 Planning and Design CODE SECTION	Y	N	N/A	O	PLAN SHEET, SPEC. OR ATTACH REFERENCE
Mandatory	Storm water pollution prevention for projects that disturb less than 1 acre of land	5.106.1 through 5.106.2					
Mandatory	Short-term bicycle parking (with exception)	5.106.4.1.1					
Mandatory	Long-term bicycle parking	5.106.4.1.2 through 5.106.4.1.5					
Mandatory	Designated parking for clean air vehicles with footnote and note	5.106.5.2					
Mandatory	Parking stall marking	5.106.5.2.1					
Mandatory	Single charging space requirements	5.106.5.3.1					
Mandatory	Multiple charging space requirements [N]	5.106.5.3.2					
Mandatory	EV charging space calculation [N] (with exception)	5.106.5.3.3					
Mandatory	[N] Identification	5.106.5.3.4					
Mandatory	[N] Future charging spaces with note	5.106.5.3.5					

Requirement	SECTION TITLE	CODE SECTION	Y	N	N/A	O	PLAN SHEET, SPEC. OR ATTACH REFERENCE
Mandatory	Light pollution reduction [N] (with exceptions, notes and table)	5.106.6					
Mandatory	Grading and paving (exception for additions and alterations not altering the drainage path)	5.106.10					

Requirement	SECTION TITLE	DIVISION 5.2 Energy Efficiency CODE SECTION	Y	N	N/A	O	PLAN SHEET, SPEC. OR ATTACH REFERENCE
Mandatory	Meet the minimum energy efficiency standard	5.201.1					

Requirement	SECTION TITLE	DIVISION 5.3 Water Efficiency and Conservation CODE SECTION	Y	N	N/A	O	PLAN SHEET, SPEC. OR ATTACH REFERENCE
Mandatory	Separate meters (new buildings or additions > 50,000 gpd that consume more than 100 gpd/day)	5.303.1.1					
Mandatory	Separate meters (for tenants in new buildings or additions that consume more than 1,000 gpd/day)	5.303.1.2					
Mandatory	Water closets shall not exceed 1.28 gallons per flush (gpf)	5.303.3.1					
Mandatory	Wall-mounted urinals shall not exceed 0.125 gpf	5.303.3.2.1					
Mandatory	Floor-mounted urinals shall not exceed 0.5 gpf	5.303.3.2.2					

Requirement	SECTION TITLE	CODE SECTION	Y	N	N/A	O	PLAN SHEET, SPEC. OR ATTACH REFERENCE
Mandatory	Single showerhead shall have maximum flow rate of 1.8 gpm (gallons per minute) at 80 psi	5.303.3.3.1					
Mandatory	Multiple showerheads serving one shower shall have a combined flow rate of 1.8 gpm at 80 psi	5.303.3.3.2					
Mandatory	Nonresidential lavatory faucets	5.303.3.4.1					
Mandatory	Kitchen faucets	5.303.3.4.2					
Mandatory	Wash fountains	5.303.3.4.3					
Mandatory	Metering faucets	5.303.3.4.4					
Mandatory	Metering faucets for wash fountains	5.303.3.4.5					
Mandatory	Pre-rinse spray valve	5.303.3.4.6					
Mandatory	Food waste disposers	5.303.4.1					
Mandatory	Areas of additions or alterations	5.303.5					
Mandatory	Standards for plumbing fixtures and fittings	5.303.6					
Mandatory	Outdoor potable water use in landscape areas (with notes)	5.304.1					

Requirement	SECTION TITLE	DIVISION 5.4 Material Conservation and Resource Efficiency CODE SECTION	Y	N	N/A	O	PLAN SHEET, SPEC. OR ATTACH REFERENCE
Mandatory	Weather protection	5.407.1					
Mandatory	Moisture control: sprinklers	5.407.2.1					
Mandatory	Moisture control: exterior door protection	5.407.2.2.1					
Mandatory	Moisture control: flashing	5.407.2.2.2					

Requirement	SECTION TITLE	CODE SECTION	Y	N	N/A	O	PLAN SHEET, SPEC. OR ATTACH REFERENCE
Mandatory	Commissioning report [N]	5.410.2.6					
Mandatory	Testing and adjusting for new buildings < 10,000 sf or new systems that serve additions or alterations [A]	5.410.4					
Mandatory	System testing plan for renewable energy, landscape irrigation and water reuse [A]	5.410.4.2					
Mandatory	Procedures for testing and adjusting	5.410.4.3					
Mandatory	Procedures for HVAC balancing	5.410.4.3.1					
Mandatory	Reporting for testing and adjusting	5.410.4.4					
Mandatory	Operation and maintenance (O&M) manual	5.410.4.5					
Mandatory	Inspection and reports	5.410.4.5.1					

Requirement	SECTION TITLE	CODE SECTION	Y	N	N/A	O	PLAN SHEET, SPEC. OR ATTACH REFERENCE
Mandatory	Aerosol paints and coatings: verification	5.504.4.3.2					
Mandatory	Carpet systems	5.504.4.4					
Mandatory	Carpet cushion	5.504.4.4.1					
Mandatory	Carpet adhesives per Table 5.504.4.1	5.504.4.4.2					
Mandatory	Composite wood products	5.504.4.5					
Mandatory	Composite wood products: documentation	5.504.4.5.3					
Mandatory	Resilient flooring systems	5.504.4.6					
Mandatory	Resilient flooring: verification of compliance	5.504.4.6.1					
Mandatory	Filters (with exceptions)	5.504.5.3					
Mandatory	Filters: labeling	5.504.5.3.1					
Mandatory	Environmental tobacco smoke (ETS) control	5.504.7					
Mandatory	Indoor moisture control	5.505.1					
Mandatory	Outside air delivery	5.505.1					
Mandatory	Carbon dioxide (CO2) monitoring	5.505.2					
Mandatory	Acoustical control (with exception)	5.507.4					
Mandatory	Exterior noise transmission, prescriptive method (with exceptions)	5.507.4.1					
Mandatory	Noise exposure where noise contours are not readily available	5.507.4.1.1					
Mandatory	Performance method	5.507.4.2					
Mandatory	Site features	5.507.4.2.1					
Mandatory	Documentation of compliance	5.507.4.2.2					
Mandatory	Interior sound transmission (with note)	5.507.4.3					

Requirement	SECTION TITLE	CODE SECTION	Y	N	N/A	O	PLAN SHEET, SPEC. OR ATTACH REFERENCE
Mandatory	Ozone depletion and greenhouse gas reductions	5.506.1					
Mandatory	Chlorofluorocarbons (CFCs)	5.506.1.1					
Mandatory	Halons	5.506.1.2					
Mandatory	Supermarket refrigerant leak reduction for retail food stores 8,000 square feet or more	5.506.2 through 5.506.2.6.3					
	END OF MANDATORY PROVISIONS						

Documentation Author's / Responsible Designer's Declaration Statement  
 I, \_\_\_\_\_, Mandatorily attest that this mandatory provisions checklist is accurate and complete.

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Company: \_\_\_\_\_ License: \_\_\_\_\_

Address: \_\_\_\_\_ Phone: \_\_\_\_\_

City/State/Zip: \_\_\_\_\_

Requirement	SECTION TITLE	DIVISION 5.5 Environmental Quality CODE SECTION	Y	N	N/A	O	PLAN SHEET, SPEC. OR ATTACH REFERENCE
Mandatory	Fireplaces	5.503.1					
Mandatory	Woodstoves	5.503.1.1					
Mandatory	Temporary ventilation	5.504.1					
Mandatory	Covering of ducts openings and protection of mechanical equipment during construction	5.504.3					
Mandatory	Adhesives, sealants, and caulk	5.504.4.1					
Mandatory	Paints and coatings	5.504.4.3					
Mandatory	Aerosol paints and coatings	5.504.4.3.1					

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REVISIONS			
NO.	DATE	DESCRIPTION	BY

**CALGREEN COMPLIANCE CHECKLIST**

JOB NO. \_\_\_\_\_ SHEET NO. \_\_\_\_\_

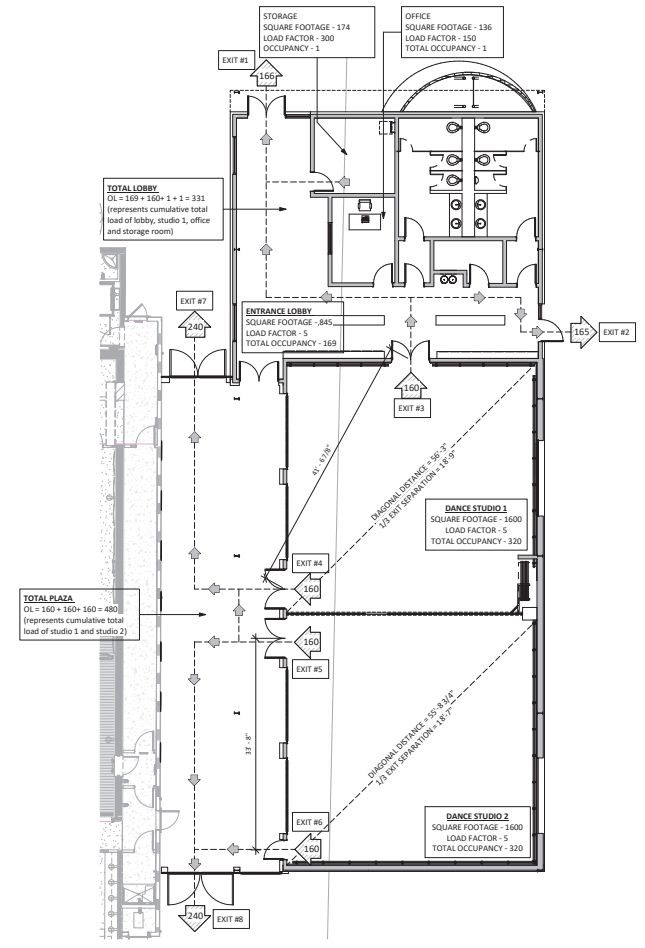
DATE: 08/05/21

DRAWN: **GO.10**

CHECKED: \_\_\_\_\_

ISSUE: PLANNING SUBMITTAL OF SHEETS





**EXIT WIDTH CALCULATIONS:**

EXIT #	EXIT WIDTH REQUIRED	EXIT WIDTH PROVIDED
#1	166 x 0.2 = 33.2'	68"
#2	165 x 0.2 = 33'	40.5"
#3	160 x 0.2 = 32'	68"
#4	160 x 0.2 = 32'	68"
#5	160 x 0.2 = 32'	68"
#6	160 x 0.2 = 32'	34"
#7	240 x 0.2 = 48"	96"
#8	240 x 0.2 = 48"	120"

**GENERAL NOTE:**  
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1 GROUND LEVEL EXITING PLAN  
1/8" = 1'-0"

**REVISIONS**

NO.	DATE	DESCRIPTION	BY

**EXITING PLANS**

JOB NO.	SHEET NO.
DATE: 09/15/20	<b>G0.21</b>
DRAWN/RD / MM	
CHECKED: AG/LSS	
ISSUE: PLANNING SUBMITTAL	
OF	SHEETS

**Subject:** Environmental Conditions

**Location:** Tannery Artists Lofts Development, 1040 River Street, Santa Cruz

This letter provides a brief overview of current environmental conditions at the site and the limited monitoring requirements that currently exist.

Prior to the current residential Land use, a commercial tannery operated at the site, a number of remedial actions were completed including excavation and off-site landfilling of approximately nearly 4,900 cubic yards of soil. A *Certificate of Completion* letter was issued by Department of Toxic Substances Control, the lead regulatory agency overseeing verification monitoring following the remedial cleanup of the site (DTSC, letter dated July 27, 2007). This *Certificate of Completion* letter indicates that investigation and remediation of hazardous substances at the site is complete and the site should not pose a threat to human health or the environment (copy of this letter is attached). Regulatory obligations tied to the *Certificate of Completion*, include:

- Compliance with a *Land Use Covenant* and
- Compliance with an *Operations and Maintenance Agreement*

The *Land Use Covenant* is in place and designated "CAP" areas remain protected and untouched.

The *Operations and Maintenance Plan* is in place to monitor low-level, residual contaminants (groundwater monitoring). Electronic copies of current and previous compliance monitoring reports can be viewed at the DTSC website for the subject property:

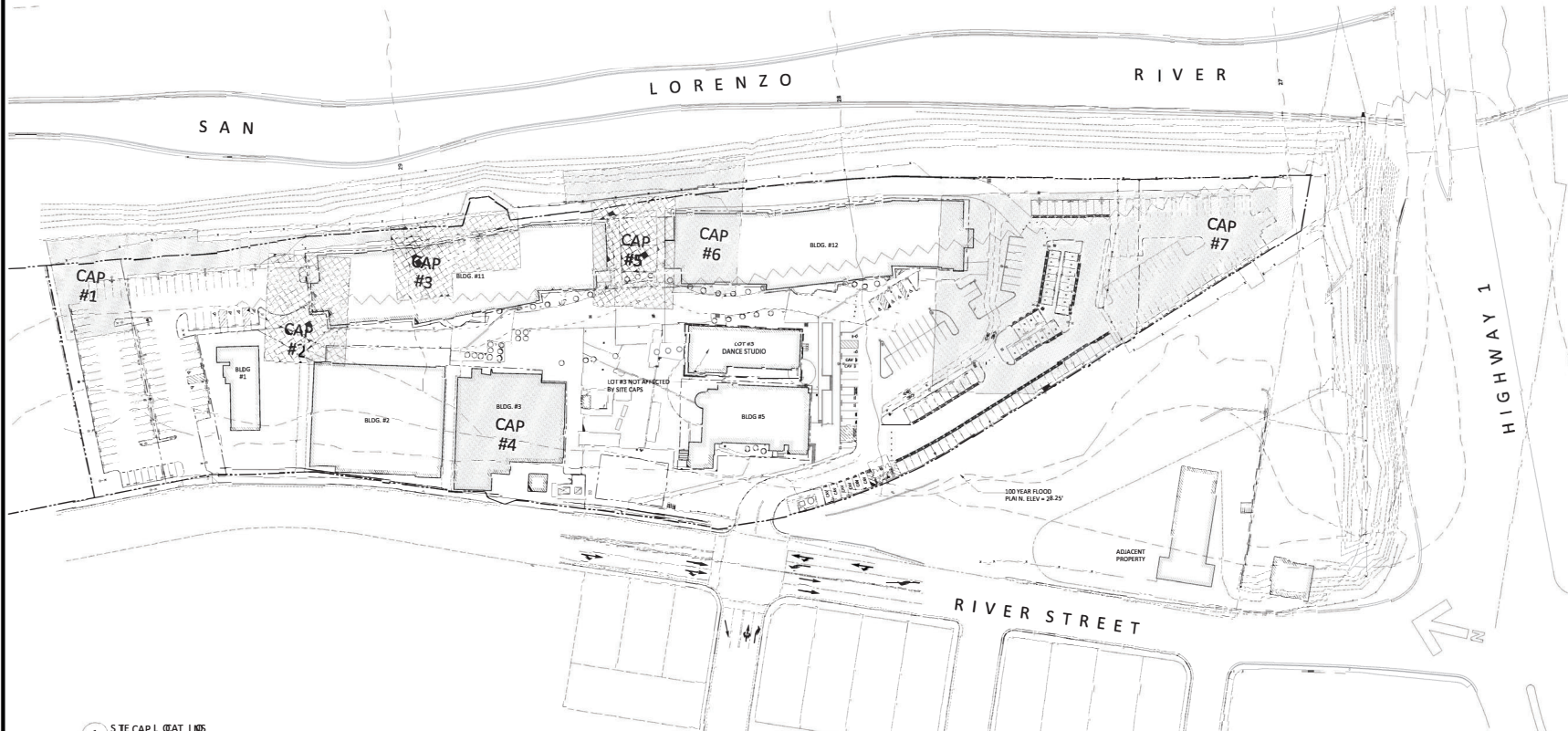
- [http://www.emissions.ca.gov/publicinfofile\\_read.asp?cid=13134444](http://www.emissions.ca.gov/publicinfofile_read.asp?cid=13134444)

Please call if you have any questions on the status of environmental conditions at the site. Sincerely,

*Pat Hoban*

Pat Hoban, PG  
 Senior Environmental Geologist

Attachment: *Certificate of Completion, Map of CAPPED Areas*



**SITE CAP LEGEND**

- PROPERTY / LOT LINE
- - - 100 YEAR FLOOD PLAN
- FLOOD PLAN
- FLOOD WAY
- PHASE 4 SCOPE OF WORK
- SITE CAP TO PREVENT CONTACT
- SITE CAP FOR GROUND WATER PROTECTION

**SITE CAPS:**

- (1) SITE CAP #1 IS COVERED BY A MINIMUM OF TWO FEET OF CLEAN FILL MATERIAL.
- (2) SITE CAP #2 SHALL BE COVERED WITH ASPHALT OR CONCRETE PRIOR TO OCCUPANCY OF THE PROPERTY.
- (3) SITE CAP #3 SHALL BE COVERED WITH ASPHALT OF CONCRETE PRIOR TO OCCUPANCY OF THE PROPERTY.
- (4) SITE CAP #4 IS COVERED WITH CONCRETE CONSISTING OF THE BUILDING FOUNDATION.
- (5) SITE CAP #5 SHALL BE COVERED WITH ASPHALT OR CONCRETE PRIOR TO OCCUPANCY OF THE PROPERTY.
- (6) SITE CAP #6 IS COVERED BY A MINIMUM OF TWO FEET OF CLEAN FILL MATERIAL.
- (7) SITE CAP #7 IS COVERED WITH ASPHALT AND/OR CONCRETE PARKING LOT.

**VICINITY MAP**



**GENERAL NOTES:**  
 1. ALL FIELD VERIFY ALL JOB CONDITIONS AND DIMENSIONS. VARIATIONS HEREBY FROM THE DRAWINGS MUST BE REPORTED TO THE ARCHITECT.  
 2. DETAILS INDICATED ON THE DRAWINGS ARE REPRESENTATIVE AND SHALL, ALL ATTENDANCES AND CONNECTIONS SHALL CONFORM TO BEST PRACTICES AND SHALL BE THE CONTRACTOR'S RESPONSIBILITY.

**REVISIONS**

NO.	DATE	DESCRIPTION	BY
1	8/13/12	PER RESPONSE 1	ESP

**SITE CAP PLAN**

JOB NO. 12-284	SHEET NO.
DATE 8/13/12	<b>A1.0</b>
DRAWN:	OF SHEETS
CHECKED:	
ISSUE: PLANNING SUBMITTAL	





SITE LEGEND

- PROPERTY / LOT LINE
- - - 100 YEAR FLOOD PLAN
- FLOOD PLAN
- FLOOD PLAN
- EMERGENCY VEHICLE ACCESS
- SCOPE OF WORK
- PROJECT AREA

GREEN BUILDING NOTES

1. PROJECT SITE IS LOCATED WITHIN 1/2 MILE RADIUS OF TEN BASIC SERVICES INCLUDING BUT NOT LIMITED TO: BANK, BEAUTY SUPPLY, MEDICAL/DENTAL, PARK, PHARMACY, RESTAURANTS, SUPERMARKET, THEATER AND MUSEUM.
2. PROJECT SITE IS LOCATED WITHIN 1/4 MILE OF TWO (2) PUBLIC BUS LINES.
3. PROJECT PROVIDES SECURE BICYCLE STORAGE.
4. PROJECT PROVIDES DESIGNATED PARKING FOR ANY COMBINATION OF LOW-EMITTING, FUEL-EFFICIENT AND CARPOOL/VAN POOL VEHICLES. REFER TO AG-1 FOR CALCULATIONS.

VICINITY MAP



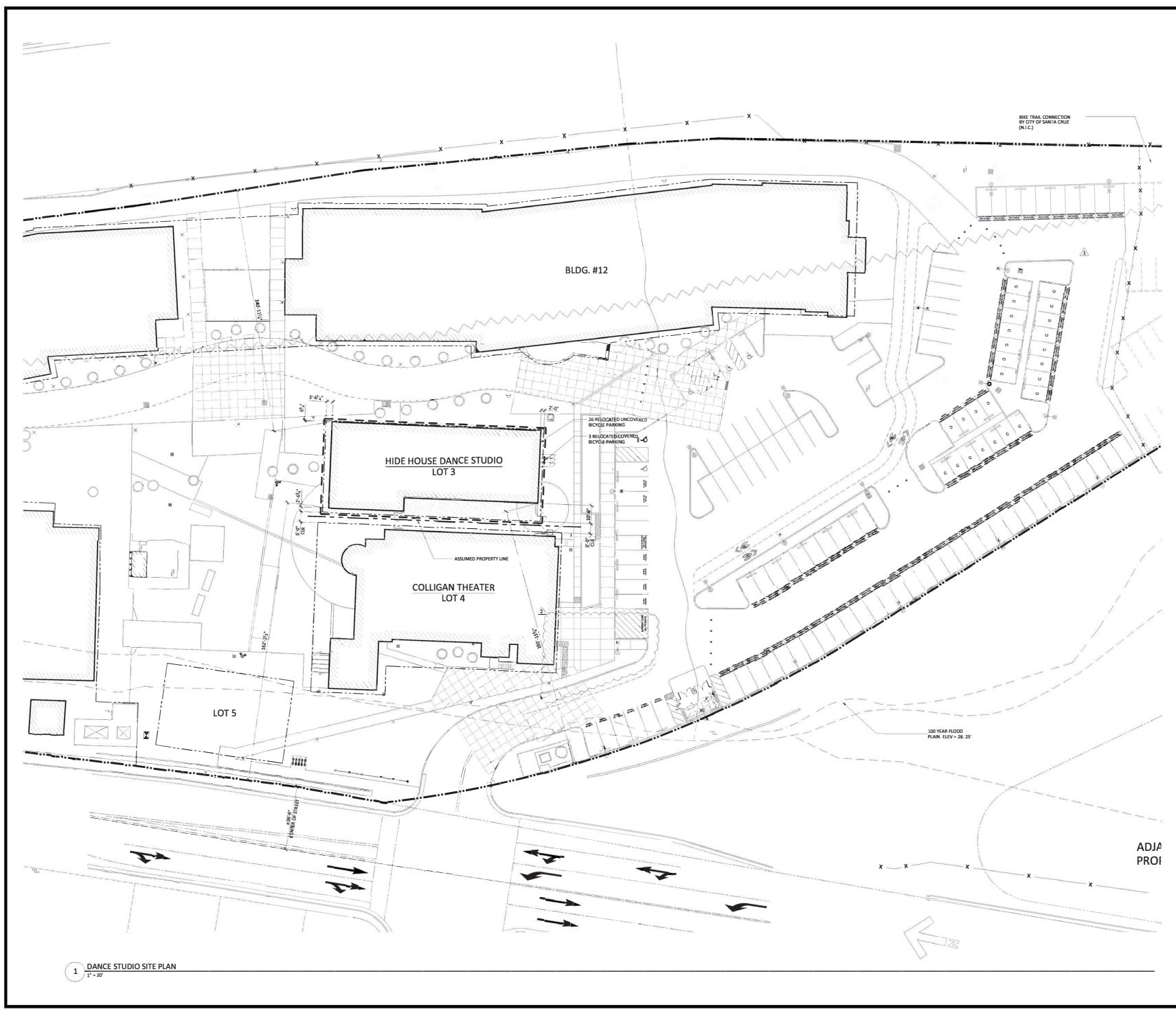
GENERAL NOTES:  
CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS AND DIMENSIONS. VARIATIONS THEREOF FROM THE DRAWINGS MUST BE REPORTED TO THE ARCHITECT.  
DETAILS INDICATED ON THE DRAWINGS ARE REPRESENTATIVE AND TYPICAL. ALL ATTACHMENTS AND CONNECTIONS SHALL CONFORM TO BEST PRACTICE AND SHALL BE THE CONTRACTOR'S RESPONSIBILITY.

REVISIONS

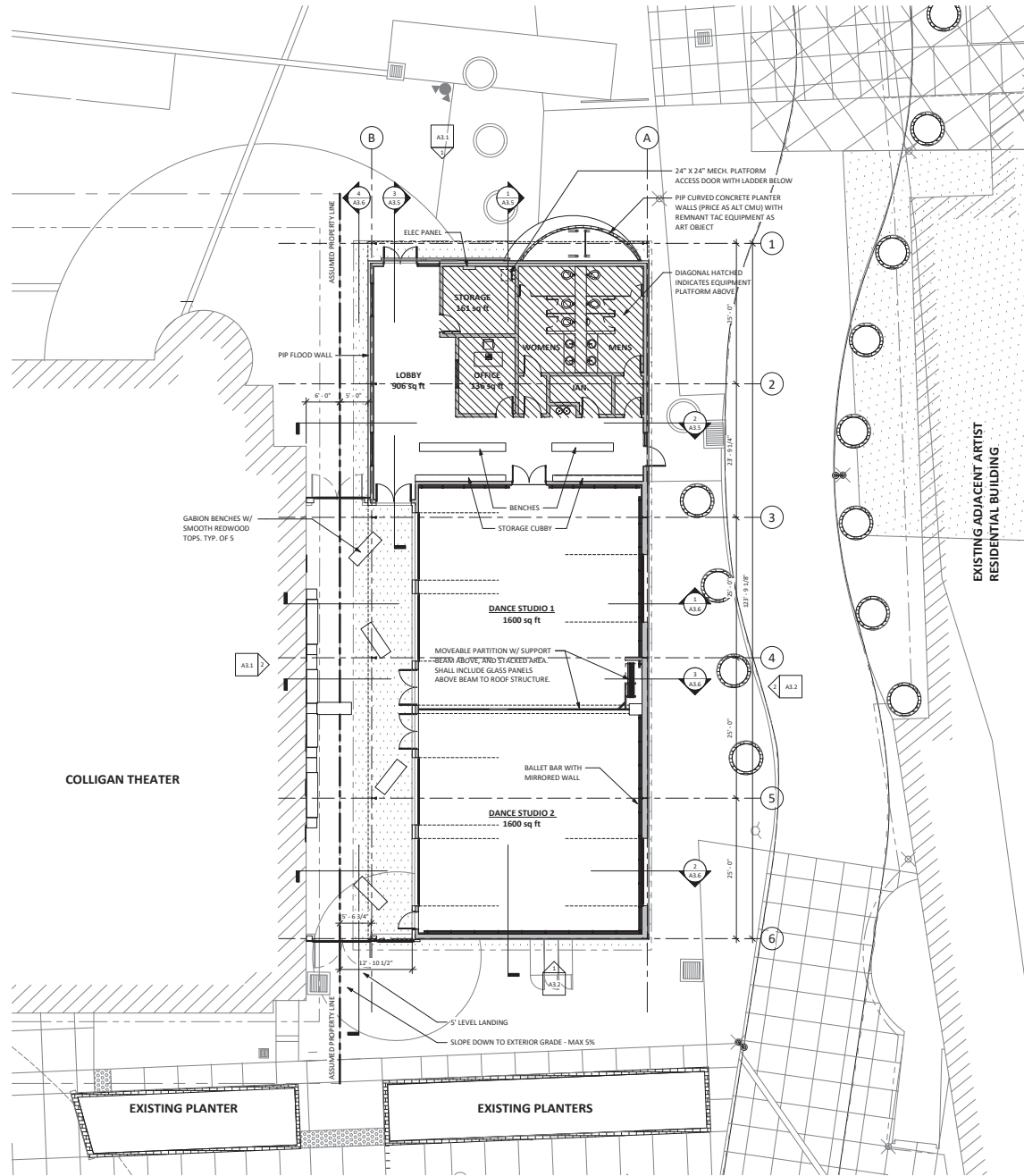
NO.	DATE	DESCRIPTION	BY
1	8/13/21	BULLETIN NO. 1	

PROPOSED SITE PLAN

JOB NO. 67-920	SHEET NO.
DATE 8/13/21 DRAWN:	A1.2
CHECKED:	
ISSUE: PLANNING SUBMITTAL	
OF SHEETS	



ADJA  
PROJ



EXISTING ADJACENT ARTIST RESIDENTIAL BUILDING

COLLIGAN THEATER

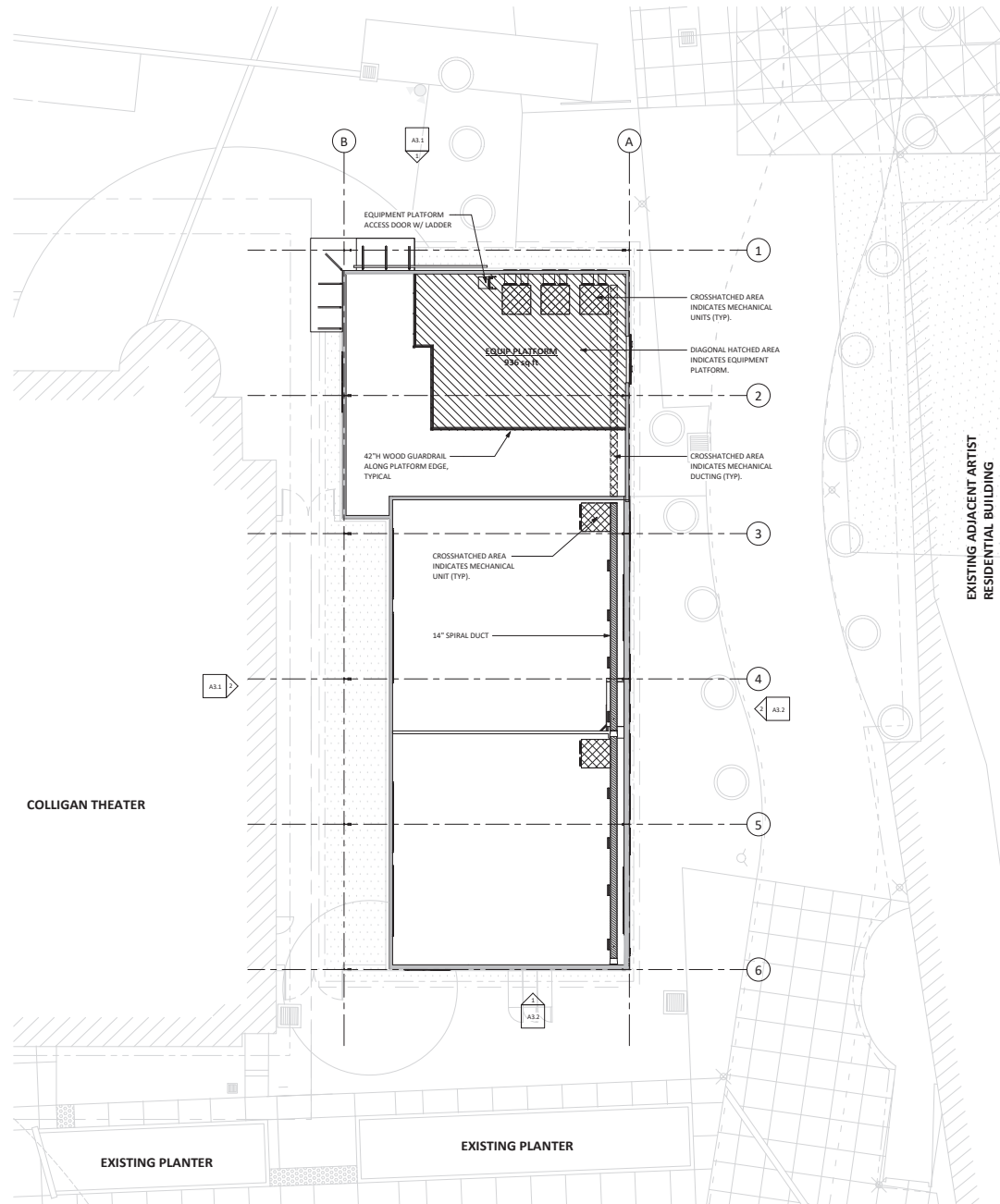
1 GROUND LEVEL  
 1/8" = 1'-0"

**GENERAL NOTES:**  
 CONTRACTOR SHALL FIELD VERIFY ALL JOB CONDITIONS AND DIMENSIONS. VARIATIONS THEREOF FROM THE DRAWINGS MUST BE REPORTED TO THE ARCHITECT. DETAILS INDICATED ON THE DRAWINGS ARE REPRESENTATIVE AND TYPICAL. ALL ATTACHMENTS AND CONNECTIONS SHALL CONFORM TO BEST PRACTICE AND SHALL BE THE CONTRACTOR'S RESPONSIBILITY.

REVISIONS			
NO.	DATE	DESCRIPTION	BY

GROUND LEVEL PLAN

JOB NO.	SHEET NO.
DATE: 09/15/20	<b>A2.1</b>
DRAWN:	
CHECKED:	
ISSUE: PLANNING SUBMITTAL	OF SHEETS



EXISTING ADJACENT ARTIST  
 RESIDENTIAL BUILDING

COLLIGAN THEATER

EXISTING PLANTER

EXISTING PLANTER



**GENERAL NOTE:**  
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REVISIONS			
NO.	DATE	DESCRIPTION	BY

**EQUIPMENT PLATFORM  
 PLAN**

JOB NO.	SHEET NO.
DATE: 08/12/21	<b>A2.2</b>
DRAWN:	
CHECKED:	
ISSUE: PLANNING SUBMITTAL	OF SHEETS

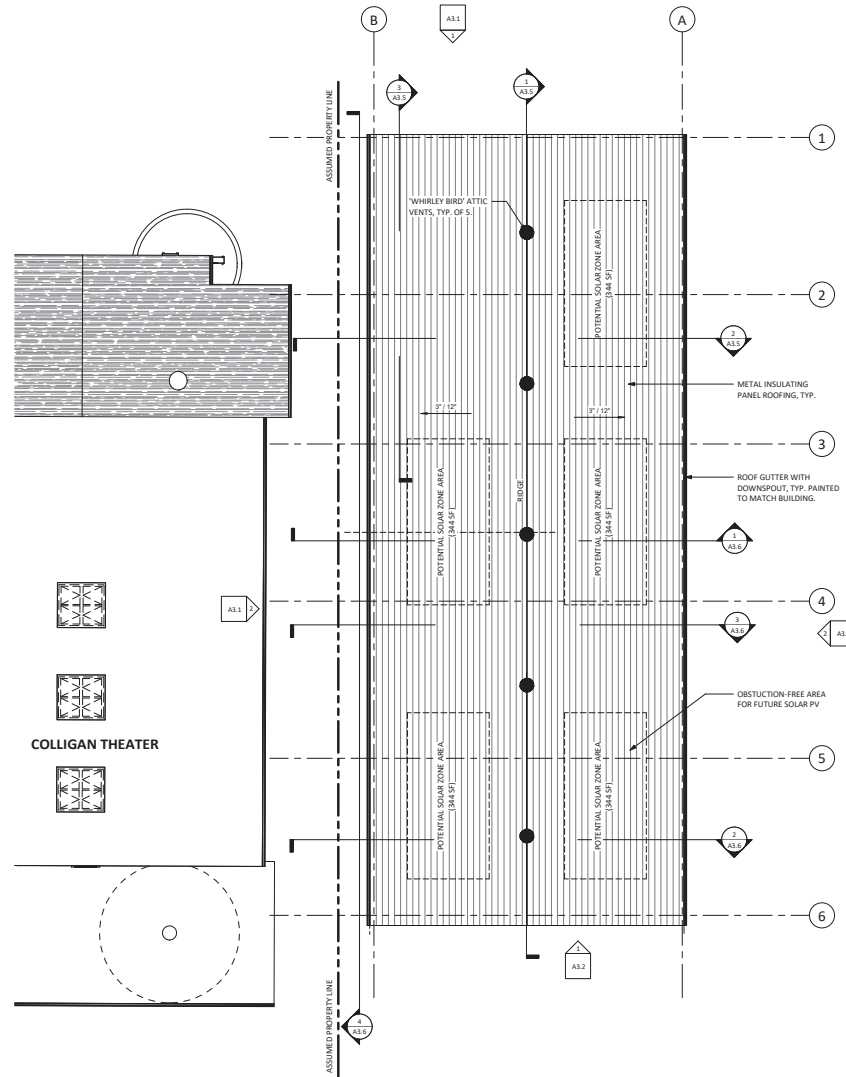
**1** EQUIP PLATFORM  
 1/8" = 1'-0"

**SOLAR READY AREAS:**  
THE CITY ENCOURAGES THIS BUILDING DESIGN TO EXCEED THE REQUIRED 15% OBSTRUCTION-FREE, MINIMUM ROOF AREA FOR SOLAR PV (CENC 110.105)(B) AND ACHIEVE A 25% SOLAR PV READY ROOF AREA THROUGH EFFICIENT LAYOUT OF ROOFTOP MECHANICAL EQUIPMENT:

REQUIRED MIN SOLAR ZONE = ROOF AREA x 25%  
= 6,500 x 25%  
= 1,625 SF REQUIRED

SOLAR ZONE PROVIDED = 1,720 SF

**GENERAL NOTES:**  
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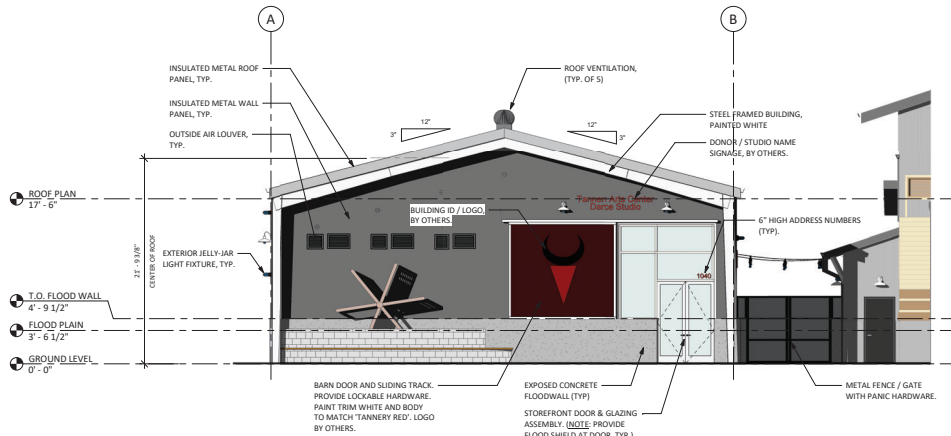


**1** ROOF PLAN  
1/8" = 1'-0"

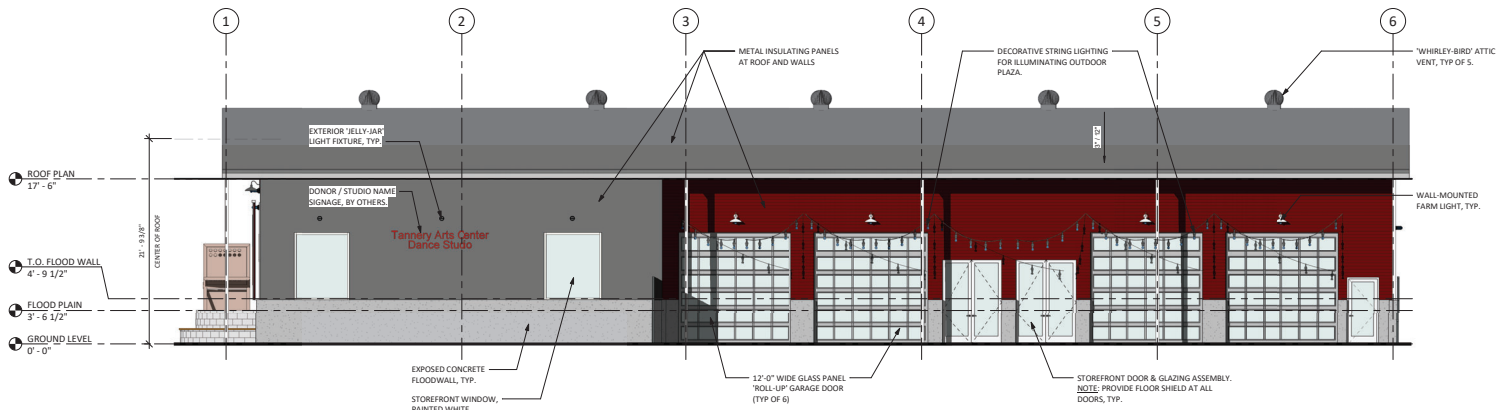
REVISIONS			
NO.	DATE	DESCRIPTION	BY

**ROOF LEVEL PLAN**

JOB NO.	SHEET NO.
DATE: 08/12/21	<b>A2.3</b>
DRAWN:	
CHECKED:	
ISSUE: PLANNING SUBMITTAL	OF SHEETS



1 NORTH ELEVATION  
 3/16" = 1'-0"



2 WEST ELEVATION  
 3/16" = 1'-0"

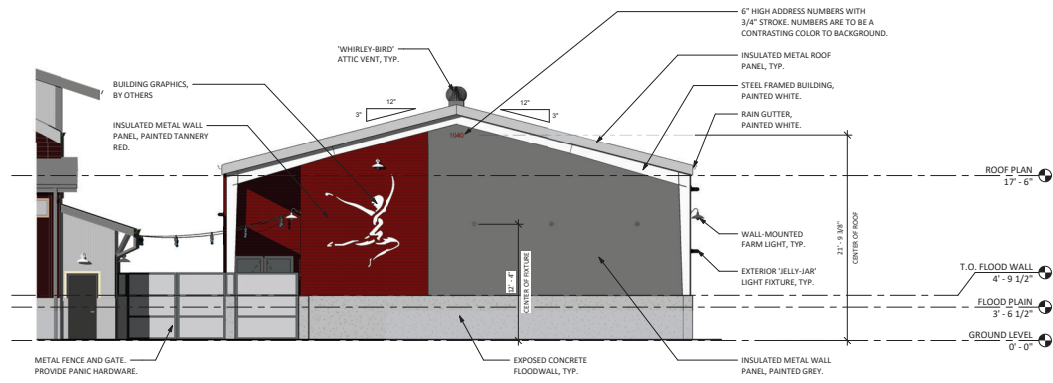
**GENERAL NOTE:**  
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REVISIONS

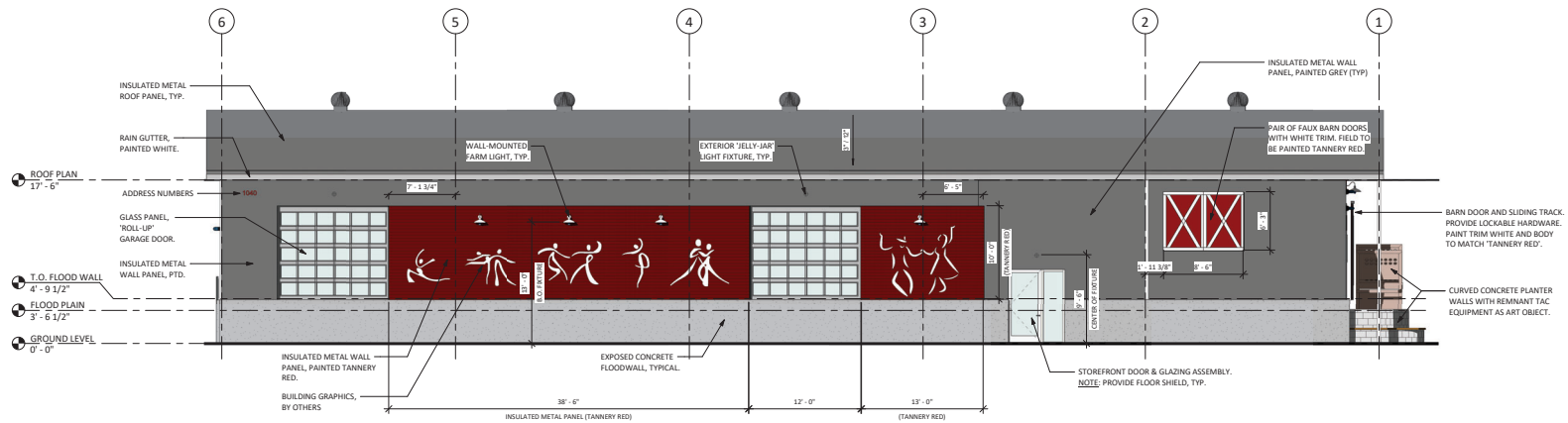
NO.	DATE	DESCRIPTION	BY

BUILDING ELEVATIONS

JOB NO.	SHEET NO.
DATE: 09/15/20	<b>A3.1</b>
DRAWN:	
CHECKED:	
ISSUE: PLANNING SUBMITTAL	OF SHEETS



1 SOUTH ELEVATION  
3/16" = 1'-0"



2 EAST ELEVATION  
3/16" = 1'-0"

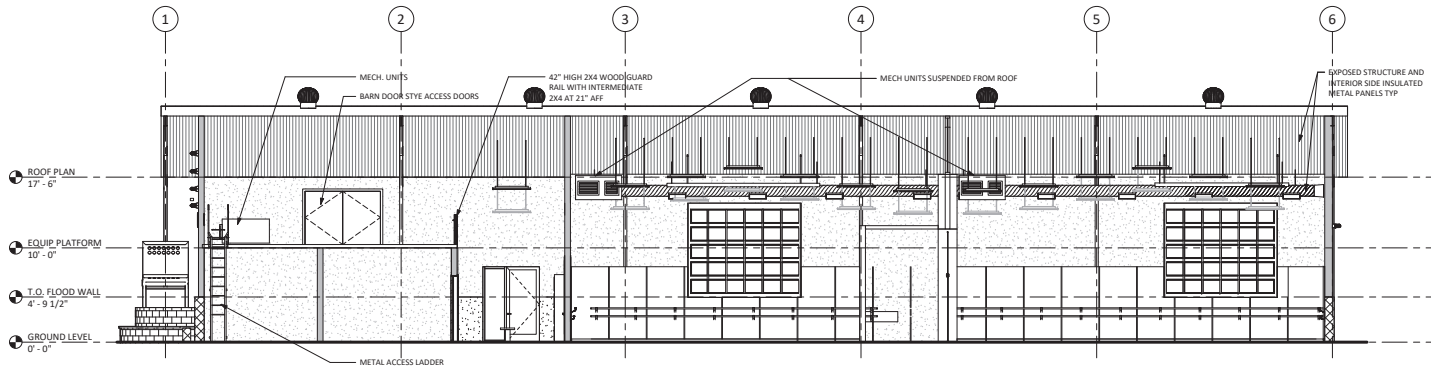
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REVISIONS

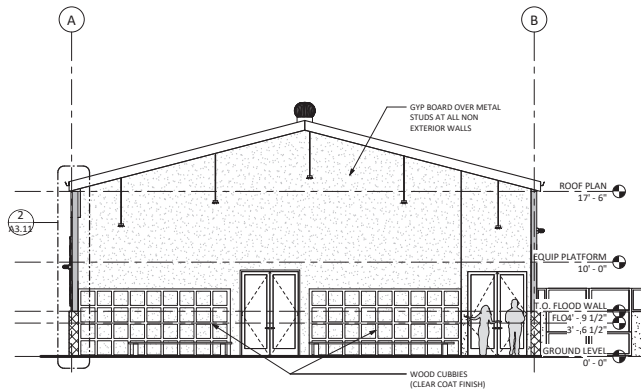
NO.	DATE	DESCRIPTION	BY

BUILDING ELEVATIONS

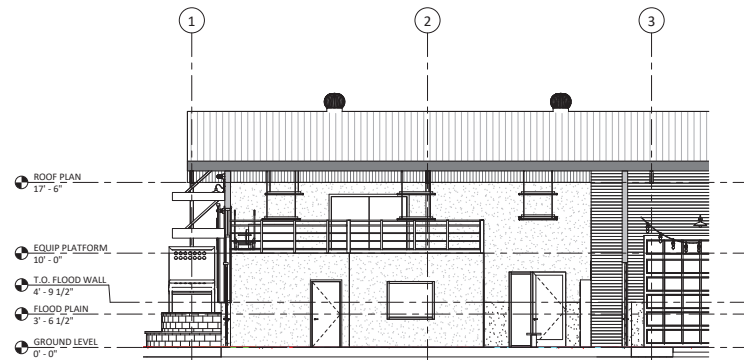
JOB NO.	SHEET NO.
DATE: 09/15/20	<b>A3.2</b>
DRAWN:	
CHECKED:	
ISSUE: PLANNING SUBMITTAL	OF SHEETS



1 LONGITUDINAL BUILDING SECTION  
 3/16" = 1'-0"



2 SECTION AT STUDIO LOBBY  
 3/16" = 1'-0"



3 SECTION AT STUDIO ENTRY  
 3/16" = 1'-0"

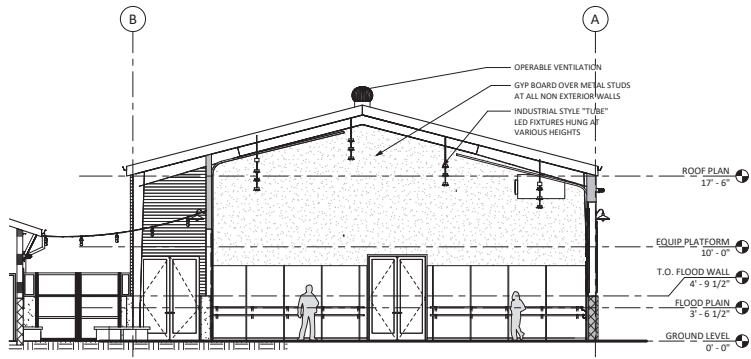
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REVISIONS			
NO.	DATE	DESCRIPTION	BY

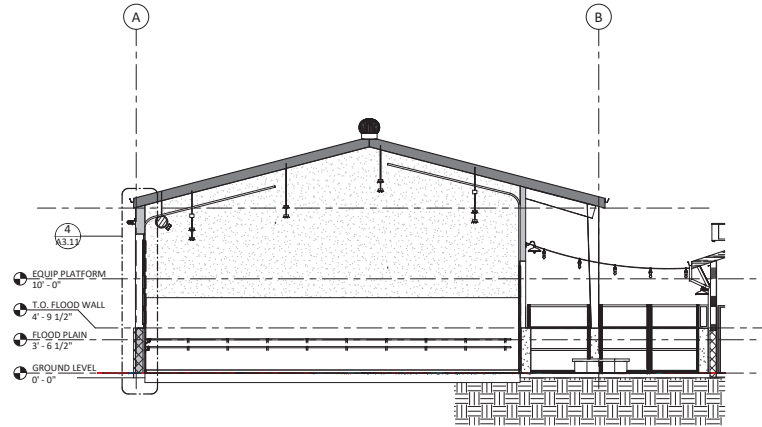
**BUILDING SECTIONS**

JOB NO.	SHEET NO.
DATE: 09/15/20	<b>A3.5</b>
DRAWN:	
CHECKED:	
ISSUE: PLANNING SUBMITTAL	OF SHEETS

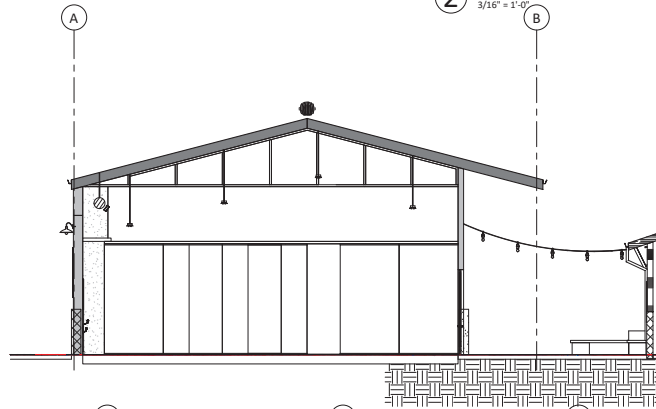




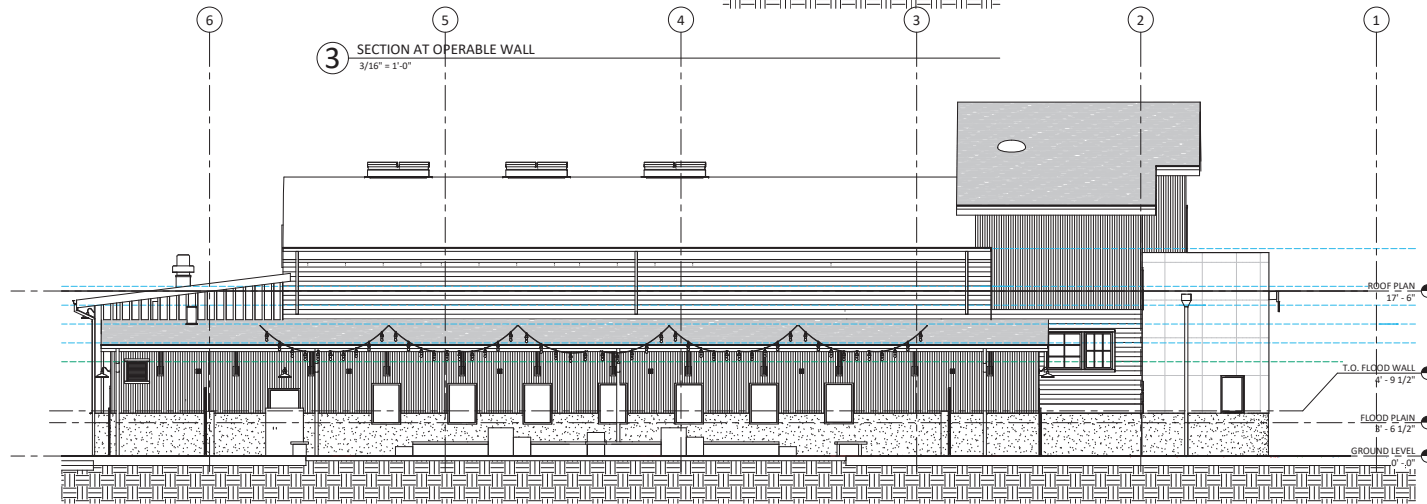
1 SECTION AT DANCE STUDIO 1  
 3/16" = 1'-0"



2 SECTION AT DANCE STUDIO 2  
 3/16" = 1'-0"



3 SECTION AT OPERABLE WALL  
 3/16" = 1'-0"



4 LONGITUDINAL SECTION AT ALLEY  
 3/16" = 1'-0"

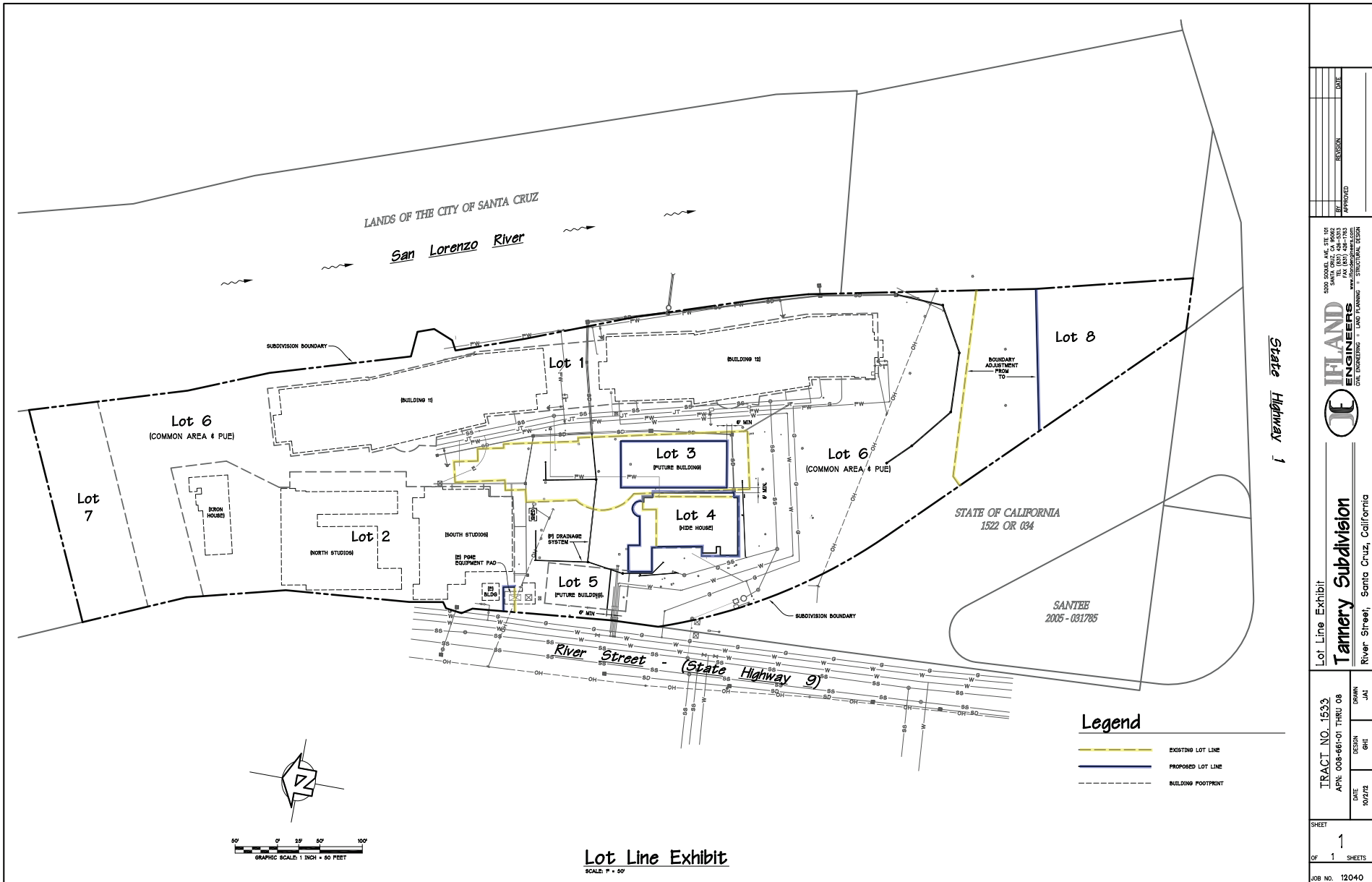
**GENERAL NOTE:**  
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REVISIONS			
NO.	DATE	DESCRIPTION	BY

**BUILDING SECTIONS**

JOB NO.	SHEET NO.
DATE: 08/10/21	<b>A3.6</b>
DRAWN:	
CHECKED:	
ISSUE: PLANNING SUBMITTAL	OF SHEETS





**Lot Line Exhibit**  
SCALE: 1" = 50'

APPROVED REVISION DATE	
1522 OR 034 STATE OF CALIFORNIA 1522 OR 034	
Santee 2005 - 031785	
Lot Line Exhibit <b>Tannery Subdivision</b> River Street, Santa Cruz, California	
TRACT NO. 1533 APN: 008-061-01 THRU 08 DATE: 10/2/22	DRAWN: JAK CHECKED: GHT DESIGN: GHT
SHEET 1 OF 1 SHEETS	JOB NO. 12040

1522 OR 034  
 STATE OF CALIFORNIA  
 1522 OR 034  
 Santee  
 2005 - 031785

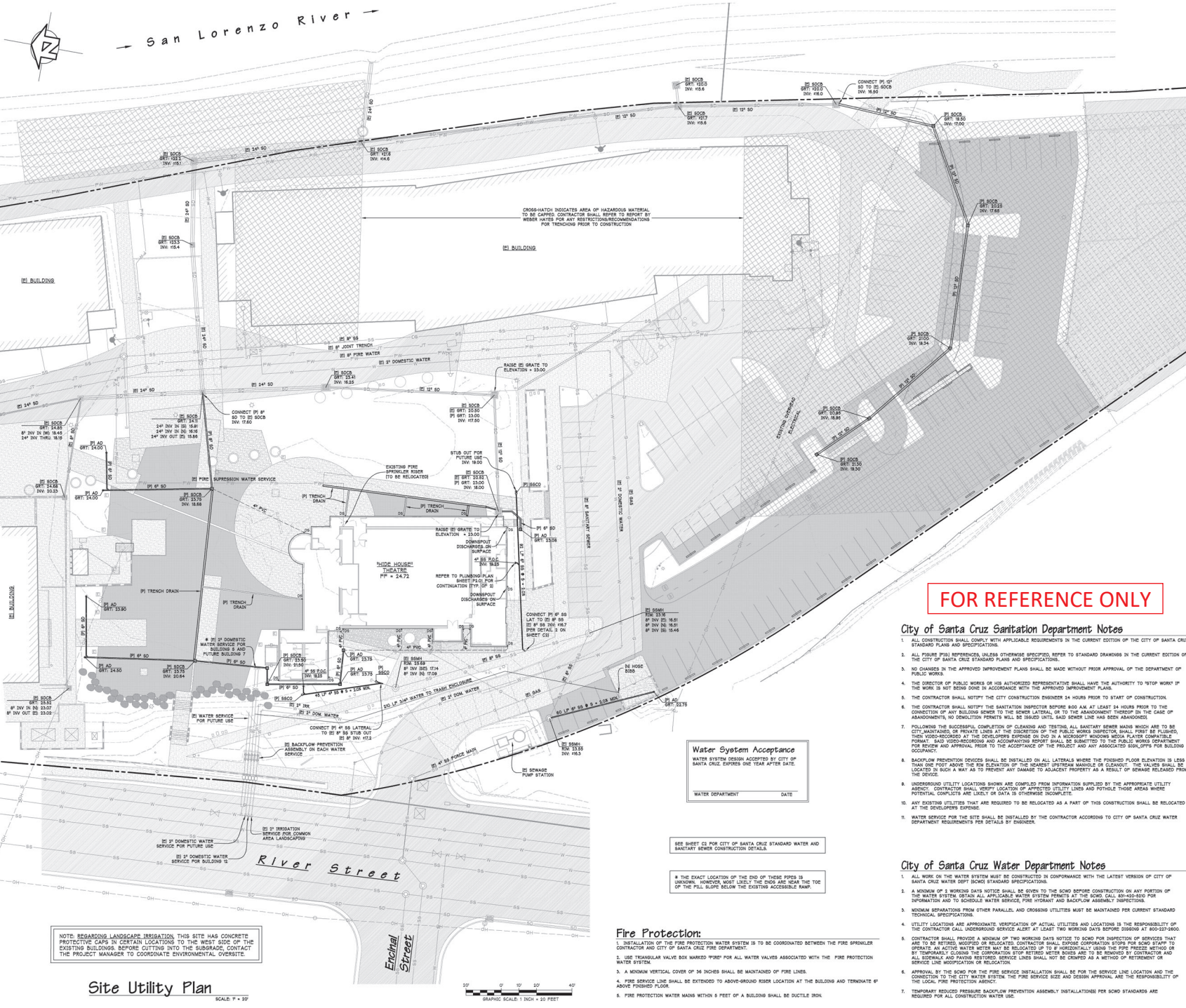
Lot Line Exhibit  
**Tannery Subdivision**  
 River Street, Santa Cruz, California

TRACT NO. 1533  
 APN: 008-061-01 THRU 08  
 DATE: 10/2/22

SHEET  
 1  
 OF 1 SHEETS

JOB NO. 12040

**FOR REFERENCE ONLY**



Site Utility Plan  
SCALE: 1" = 20'



**Fire Protection:**

1. INSTALLATION OF THE FIRE PROTECTION WATER SYSTEM IS TO BE COORDINATED BETWEEN THE FIRE SPRINKLER CONTRACTOR AND CITY OF SANTA CRUZ FIRE DEPARTMENT.
2. USE TRIANGULAR VALVE BOX MARKED "P" FOR ALL WATER VALVES ASSOCIATED WITH THE FIRE PROTECTION WATER SYSTEM.
3. A MINIMUM VERTICAL COVER OF 36 INCHES SHALL BE MAINTAINED ON FIRE LINES.
4. FIRE SERVICE LINE SHALL BE EXTENDED TO ABOVE-GROUND RISER LOCATION AT THE BUILDING AND TERMINATE 6' ABOVE FINISHED FLOOR.
5. FIRE PROTECTION WATER MAIN WITHIN 5 FEET OF A BUILDING SHALL BE DUCTILE IRON.

**Water System Acceptance**  
WATER SYSTEM DESIGN ACCEPTED BY CITY OF SANTA CRUZ EXPIRES ONE YEAR AFTER DATE.  
WATER DEPARTMENT \_\_\_\_\_ DATE \_\_\_\_\_

SEE SHEET C3 FOR CITY OF SANTA CRUZ STANDARD WATER AND SANITARY SEWER CONSTRUCTION DETAILS.

THE EXACT LOCATION OF THE END OF THESE PIPES IS UNKNOWN, HOWEVER MOST LIKELY THE END IS NEAR THE TOE OF THE HILL SLOPE BELOW THE EXISTING ACCESSIBLE RAMP.

**FOR REFERENCE ONLY**

**City of Santa Cruz Sanitation Department Notes**

1. ALL CONSTRUCTION SHALL COMPLY WITH APPLICABLE REQUIREMENTS IN THE CURRENT EDITION OF THE CITY OF SANTA CRUZ STANDARD PLANS AND SPECIFICATIONS.
2. ALL PIPING (P/S) REFERENCES, UNLESS OTHERWISE SPECIFIED, REFER TO STANDARD DRAWINGS IN THE CURRENT EDITION OF THE CITY OF SANTA CRUZ STANDARD PLANS AND SPECIFICATIONS.
3. NO CHANGES IN THE APPROVED IMPROVEMENT PLANS SHALL BE MADE WITHOUT PRIOR APPROVAL OF THE DEPARTMENT OF PUBLIC WORKS.
4. THE DIRECTOR OF PUBLIC WORKS OR HIS AUTHORIZED REPRESENTATIVE SHALL HAVE THE AUTHORITY TO STOP WORK IF THE WORK IS NOT BEING DONE IN ACCORDANCE WITH THE APPROVED IMPROVEMENT PLANS.
5. THE CONTRACTOR SHALL NOTIFY THE CITY CONTRACTOR ENGINEER 24 HOURS PRIOR TO START OF CONSTRUCTION.
6. ALL CONSTRUCTION SHALL NOTIFY THE SANITATION INSPECTOR BEFORE AND AS AT LEAST 24 HOURS PRIOR TO THE CONNECTION OF ANY BUILDING SEWER TO THE SEWER LATERAL OR TO THE ARRANGEMENT THEREOF IN THE CASE OF REARRANGEMENTS TO DRAINAGE PERMITS WILL BE ISSUED UNTIL MAIN SEWER LINE HAS BEEN REARRANGED.
7. FOLLOWING THE SUCCESSFUL COMPLETION OF CLEANING AND TESTING ALL SANITARY SEWER MAINS WHICH ARE TO BE CITY, MAINTAINED OR PRIVATE LINES AT THE CONNECTION OF THE PUBLIC WORKS INSPECTOR SHALL FIRST BE PLUMBED, THEN VENTED AND AT THE CONTRACTOR'S EXPENSE BE OILED IN A MANNER WHICH MEETS ALL PLUMBING CODES. CONTRACTOR SHALL SUBMIT VENTING AND ACCUMULATOR REPORT SHALL BE SUBMITTED TO THE PUBLIC WORKS DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO THE ACCEPTANCE OF THE PROJECT AND ANY ASSOCIATED SOILS/OP'S FOR BUILDING OCCUPANCY.
8. BACKFLOW PREVENTION DEVICES SHALL BE INSTALLED ON ALL LATERALS WHERE THE FINISHED FLOOR ELEVATION IS LESS THAN ONE FOOT ABOVE THE LOW ELEVATION OF THE NEAREST UPSTREAM MAIN OR CLEANOUT. THE VALVES SHALL BE LOCATED IN SUCH A MANNER AS TO PREVENT ANY DAMAGE TO ADJACENT PROPERTY AS A RESULT OF SEWER RELEASED FROM THE DEVICE.
9. UNDERGROUND UTILITY LOCATIONS SHOWN ARE COMPILED FROM INFORMATION SUPPLIED BY THE APPROPRIATE UTILITY AGENCY. CONTRACTOR SHALL VERIFY LOCATION OF APPLICABLE UTILITY LINES AND POTHOLES THOSE AREAS WHERE POTENTIAL CONFLICTS ARE LIKELY OR DATA IS OTHERWISE INCOMPLETE.
10. ANY EXISTING UTILITIES THAT ARE REQUIRED TO BE RELOCATED AS A PART OF THIS CONSTRUCTION SHALL BE RELOCATED AT THE DEVELOPER'S EXPENSE.
11. WATER SERVICE FOR THE SITE SHALL BE INSTALLED BY THE CONTRACTOR ACCORDING TO CITY OF SANTA CRUZ WATER DEPARTMENT REQUIREMENTS PER DETAILS BY ENGINEER.

**City of Santa Cruz Water Department Notes**

1. ALL WORK ON THE WATER SYSTEM MUST BE CONSTRUCTED IN CONFORMANCE WITH THE LATEST VERSION OF CITY OF SANTA CRUZ WATER DEPT. BOWD STANDARD SPECIFICATIONS.
2. A MINIMUM OF 5 WORKING DAYS NOTICE SHALL BE GIVEN TO THE BOWD BEFORE CONSTRUCTION ON ANY PORTION OF THE WATER SYSTEM. OBTAIN ALL APPLICABLE WATER SYSTEM PERMITS AT THE BOWD CALL 538-4343 FOR INFORMATION AND TO SCHEDULE WATER SERVICE, FIRE HYDRANT AND BACKFLOW ASSEMBLY INSPECTIONS.
3. MINIMUM DEPARTURE FROM OTHER PARALLEL AND CROSSING UTILITIES MUST BE MAINTAINED PER CURRENT STANDARD TECHNICAL SPECIFICATIONS.
4. UTILITY LOCATIONS ARE APPROXIMATE. VERIFICATION OF ACTUAL UTILITIES AND LOCATIONS IS THE RESPONSIBILITY OF THE CONTRACTOR CALL UNDERGROUND SERVICE ALERT AT LEAST TWO WORKING DAYS BEFORE STARTING AT 800-347-8300.
5. CONTRACTOR SHALL PROVIDE A MINIMUM OF TWO WORKING DAYS NOTICE TO BOWD FOR INSPECTION OF SERVICES THAT ARE TO BE RETIRED. PROVIDER OF RELATED CONTRACTOR SHALL EXPLORE CONSTRUCTION FOR BOWD STAFF TO OPERATE AN ACTIVE WATER METER MAY BE RELOCATED UP TO 6' HORIZONTALLY USING THE FIRE PRESSURE METHOD OR BY TEMPORARILY CLOSING THE CONSTRUCTION STOP RETIRED WATER BOWD ARE TO BE RETIRED BY CUTTING AND ALL SIDEWALKS AND PAVING RESTORED SERVICE LINES SHALL NOT BE CREEPED AS A METHOD OF RETIREMENT OR SERVICE LINE RELOCATION OR RELOCATION.
6. APPROVAL BY THE BOWD FOR THE FIRE SERVICE INSTALLATION SHALL BE FOR THE SERVICE LINE LOCATION AND THE CONNECTION TO THE CITY WATER SYSTEM. THE FIRE SERVICE SIZE AND DESIGN APPROVAL ARE THE RESPONSIBILITY OF THE LOCAL FIRE PROTECTION AGENCY.
7. TEMPORARY REDUCED PRESSURE BACKFLOW PREVENTION ASSEMBLY INSTALLATIONS PER BOWD STANDARDS ARE REQUIRED FOR ALL CONSTRUCTION WATER USE.



For Plan Check Only  
DAVID HENRICHSEN (P.E. NO. 4747) DATE \_\_\_\_\_



**PHASE IV  
HIDE HOUSE THEATER**

**REVISIONS**

NO.	DATE	DESCRIPTION	BY

**SITE UTILITY PLAN**

JOB NO.	IEI 12040	SHEET NO.	<b>C4</b>
DATE:	12/20/12		
DRAWN:	JAIREC		
CHECKED:	DAH		
ISSUE:	PLANNING SUBMITAL		