

UNIT AND AREA SUMMARY			JOB: 908 OCEAN STREET, SANTA CRUZ									
Date 2/28/2023			TYPE VA O/ TYPE IA							BASE PROJECT SITE TOTAL		
CONSTRUCTION TYPE:			2-3 WOOD OVER 1 CONCRETE W/ BASEMENT									
FLOORS:												
UNIT TYPE	NAME	DESCRIB	Unit Net Rentable	Unit					Roof	Unit Total	Rentable Area by Type	
				B1	1ST	2ND	3RD	4TH				
STUDIO	S1	STUDIO (FDU)	509		6	18	13	10		47	18%	23,923
	S2	STUDIO (FDU)	537			1	1	1		3	1%	1,611
STUDIO SUB-TOTAL				6	19	14	11	0	0	50	19%	25,534
1 BEDROOM	A1	1 BDRM (FDU)	645		16	33	17	18		84	32%	54,180
	A2	CORNER 1 BDRM (FDU)	645			11	11	11		33	13%	21,285
	A4	1 BDRM (FDU)	574			1	1	1		3	1%	1,722
	A5	1 BDRM	670		4	4				8	3%	5,360
1 BDRM SUB-TOTAL				20	49	29	30	0	0	128	49%	82,547
2 BEDROOM	B1	2 BDRM/ 2 BATH	1,021		7	11	9	8		35	13%	35,735
	B2	2 BDRM/ 2 BATH	1,102		7	10	2	2		21	8%	23,142
	B3	2 BDRM/ 2 BATH	1,190			1	1	1		3	1%	3,570
	B4	2 BDRM/ 2 BATH	1,040		4	4				8	3%	8,320
	B5	2 BDRM/ 2 BATH	1,102			3	3	1		7	3%	7,714
	B6	2 BDRM/ 2 BATH	0							0	0%	0
2 BDRM SUB-TOTAL				18	29	15	12	0	0	74	28%	78,481
3 BEDROOM	C1	3 BDRM/ 2 BATH	1,247			4	4			8	3%	9,976
3 BDRM SUB-TOTAL				0	4	4	0	0	0	8	3%	9,976
4 BEDROOM	D1	4 BDRM/ 2.5 BATH	1,420		1	1				2	1%	2,840
4 BDRM SUB-TOTAL				1	1	0	0	0	0	2	1%	2,840
TOTAL UNITS			Avg SqFt	761	45	102	62	53	0	262	100%	199,378
Net rentable residential area is measured center of demising wall, ext face of stud of ext wall, ext face of stud of corridor wall, excl decks												
Net rentable Residential by floor (excl decks)					36,495	78,648	46,665	37,570	0	0		199,378
Gross area by floor (footprint minus net rentable, excl decks)					0	7,588	10,647	7,282	6,741	0	0	32,258
Residential Amenities						3,830	3,250		720			7,800
Leasing Office						1,200						1,200
Commerical						8,860						8,860
Garage (Including Utility)					78,367	43,148						121,515
Total Gross					78,367	101,121	92,545	53,947	45,031	0	0	371,011

BONUS PROJECT	DU AVE	764
	DU%	19%
	BASE DU =	50
		128
		71
		10
		3
		262.22

FAR			
SITE AREA (SF)	167,270 (3.839 AC)	ALLOWABLE	1.75 =
		PROVIDED	1.750 =
			292,223
			292,644

DENSITY	
ALLOWABLE*	30 DU/ACRE= 115.2 DU
PROVIDED	92 DU
* ONLY DWELLING UNITS GREATER THAN 649 SF COUNTED	

VEHICLE PARKING			
		PARKING RATIO:	
REQUIRED:	COMMERCIAL = 1 STALL : 250 SF=	35.4	4
	1 STALL : 1 FDU=	170	2
	2 STALL : DU >650SF=	184	18
	10% ADDITIONAL STALL FOR DU >650SF=	8.4	
	REQUIRED STALL TOTAL:	398	1.52
PROVIDED:	B1- RESIDENTIAL	297	48
	FLOOR 1 - RESIDENTIAL SURFACE	47	9
	RESIDENTIAL TOTAL	362	57
	FLOOR 1 - COMMERCIAL	36	14.3%
	PROVIDED STALL TOTAL:	398	1.52

OPEN SPACE	
REQUIRED	150SF OS * FDU = 25500
	100SF PRIVATE OS * (DU >650SF)= 9200
	TOTAL REQUIRED
	34700
PROVIDED	COURTYARD 1 3470
	COURTYARD 2 8690
	LOGGIA 2090
	ROOF DECK 2580
	REAR COURTYARD 9650
	100SF PRIVATE DECKS 8400
	TOTAL PROVIDED
	34880

BIKE PARKING			
REQUIRED		PROVIDED	92 SARIS STACKER 0 30X74X48 LOCKER 170 FDU STORAGE*
1 RESIDENT CLASS I STALL : 1 DU=	262 CLASS I		262 CLASS I RESI TOTAL
0.25 RESIDENT CLASS II : 1 DU =	66 CLASS II		66 CLASS II RESI
2 COMMERCIAL + 15% OF REQ PARKING=	7.3 TOTAL COMMERCIAL		
20% CLASS I COMMERCIAL=	1 CLASS I		2 CLASS I
80% CLASS II COMMERCIAL=	6 CLASS II		6 CLASS II
* FLEXIBLE DENSITY UNIT STORAGE COUNTED AS BIKE PARKING			

RESIDENT STORAGE	
REQUIRED	200 CUBIC FEET STORAGE : 1 FDU = 170 LOCKERS
PROVIDED	5'X5'X8'HT STORAGE LOCKER= 170 LOCKERS

STATISTICS - COMBINED SITE

A3



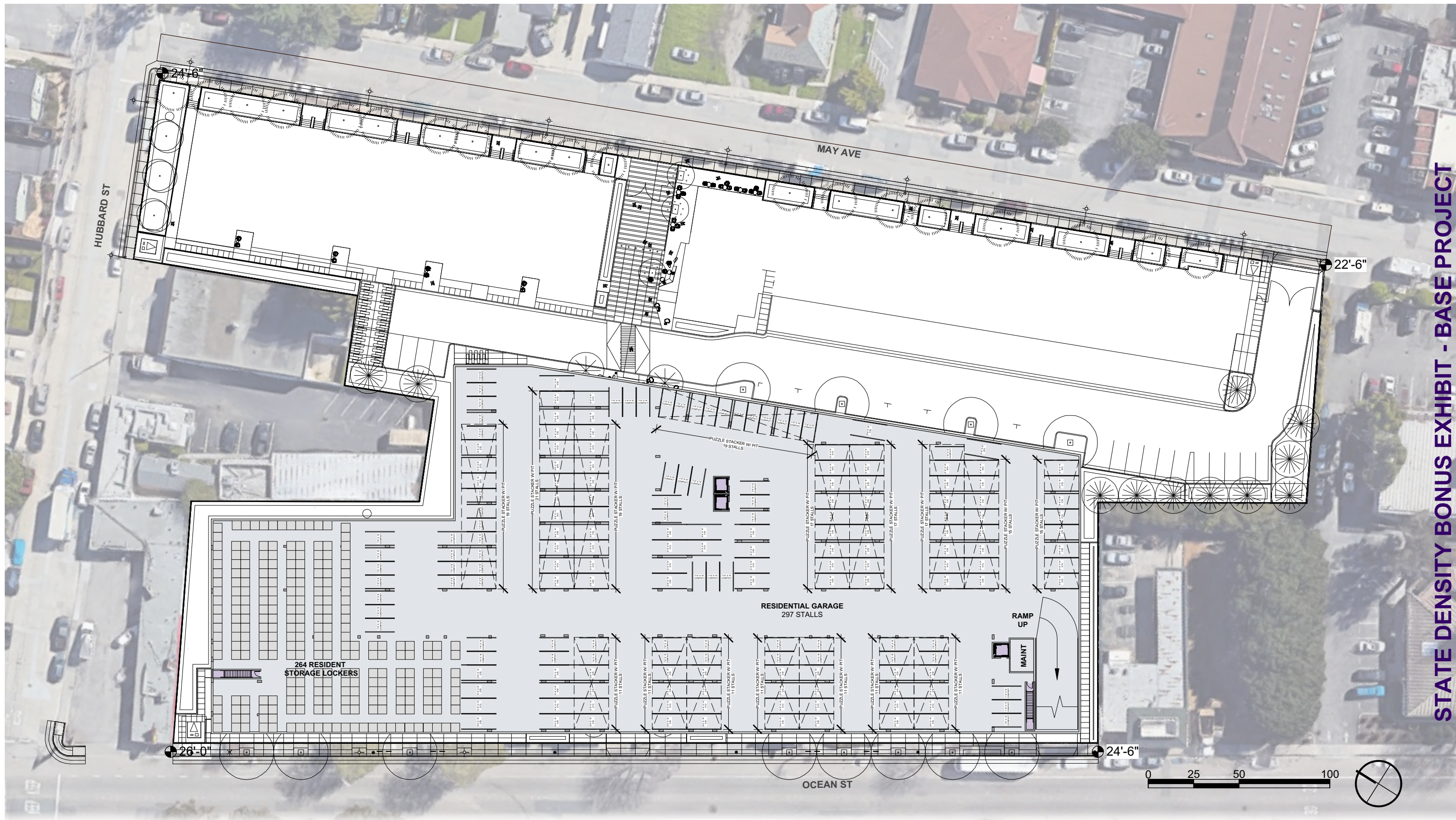
908 OCEAN ST

SANTA CRUZ, CALIFORNIA

FEBRUARY 28, 2023

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STATE DENSITY BONUS EXHIBIT - BASE PROJECT



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FLOOR B1 - PLAN

1" = 50'-0" **A7**

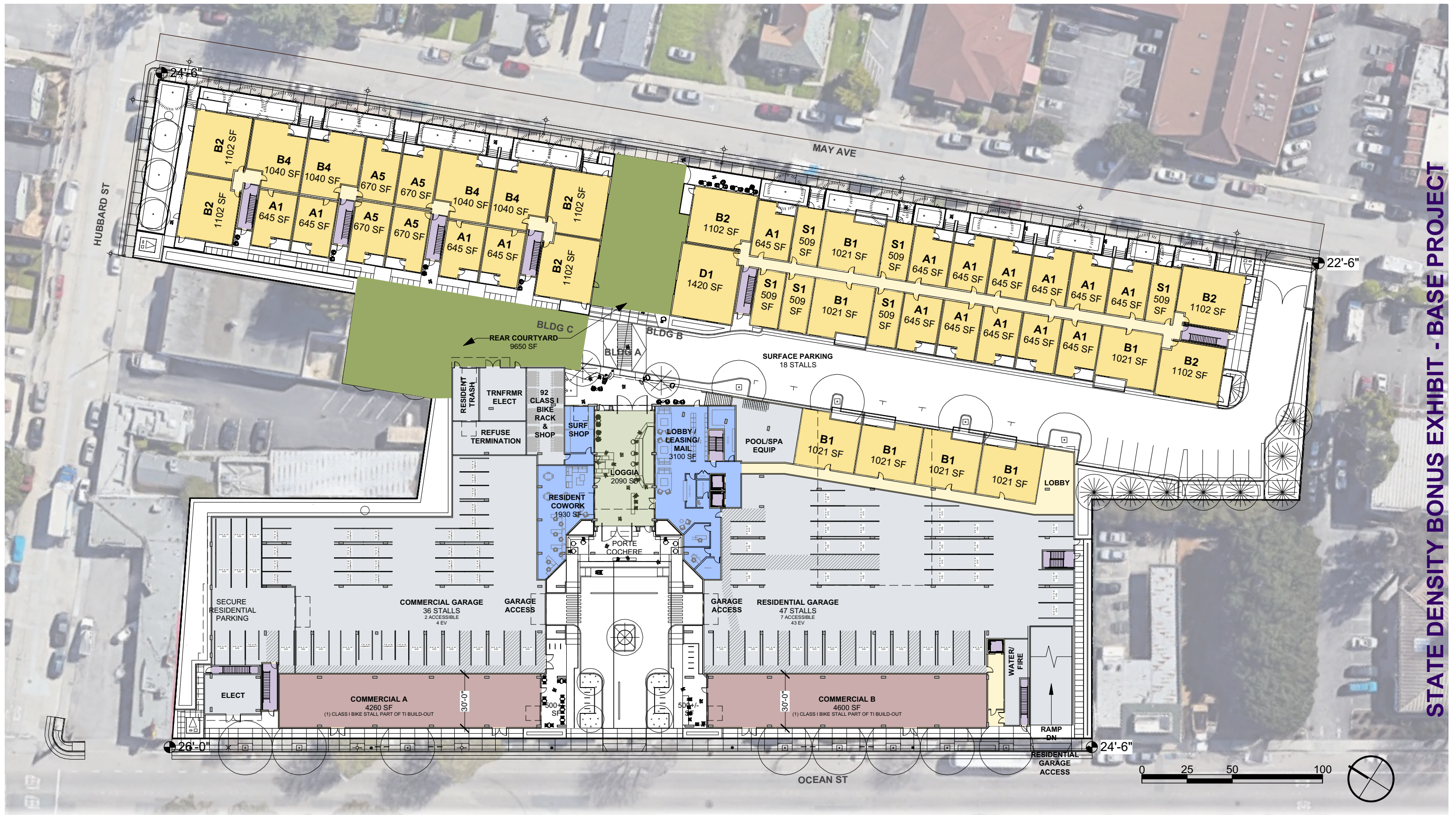


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FLOOR 1 - PLAN

1" = 50'-0" A8

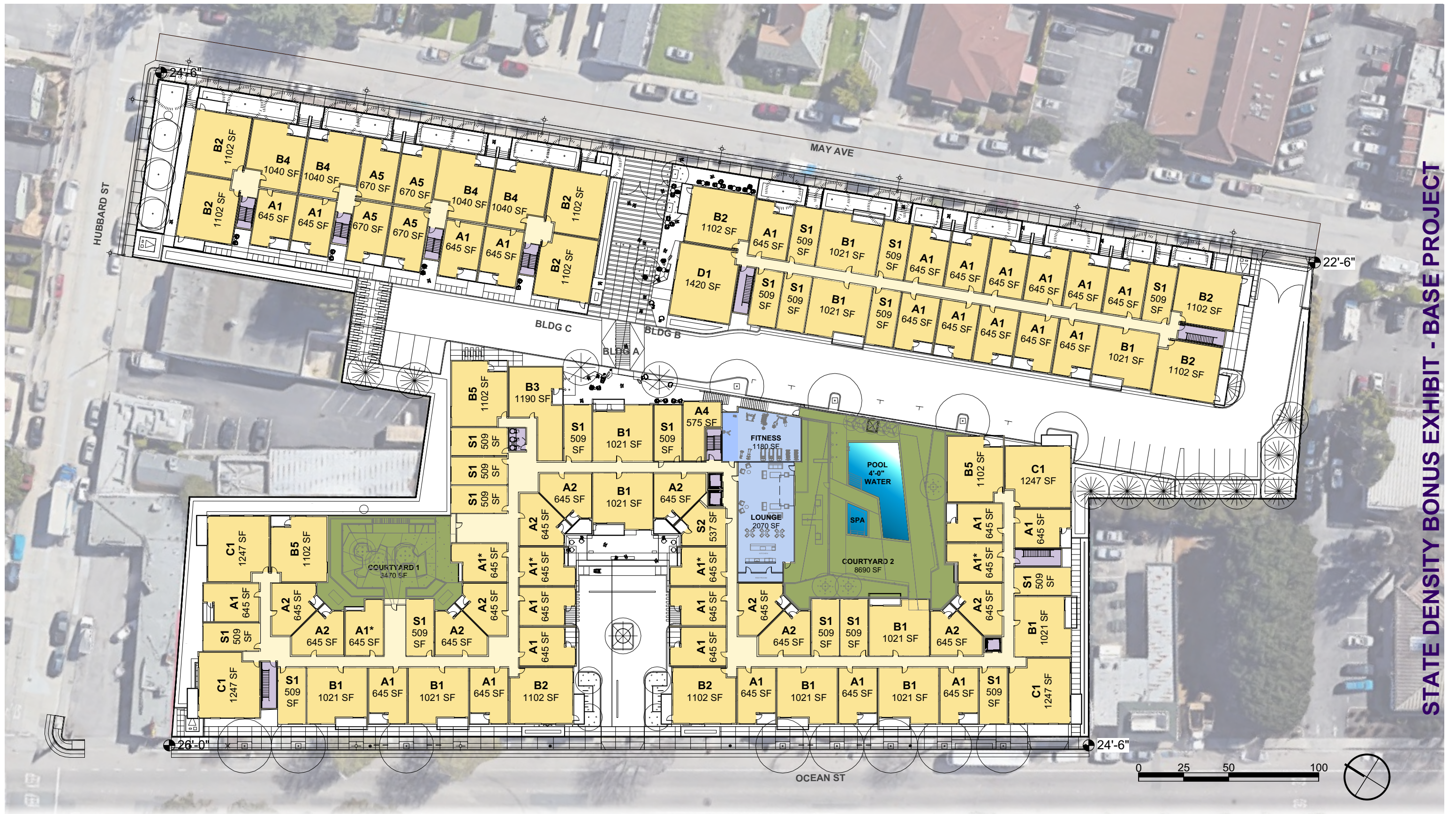


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FLOOR 2 - PLAN

1" = 50'-0" A9



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STATE DENSITY BONUS EXHIBIT - BASE PROJECT

FLOOR 3 - PLAN

1" = 50'-0" A10



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STATE DENSITY BONUS EXHIBIT - BASE PROJECT

FLOOR 4 - PLAN

1" = 50'-0" A11

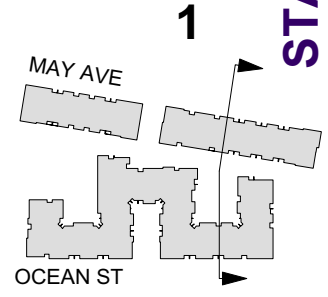
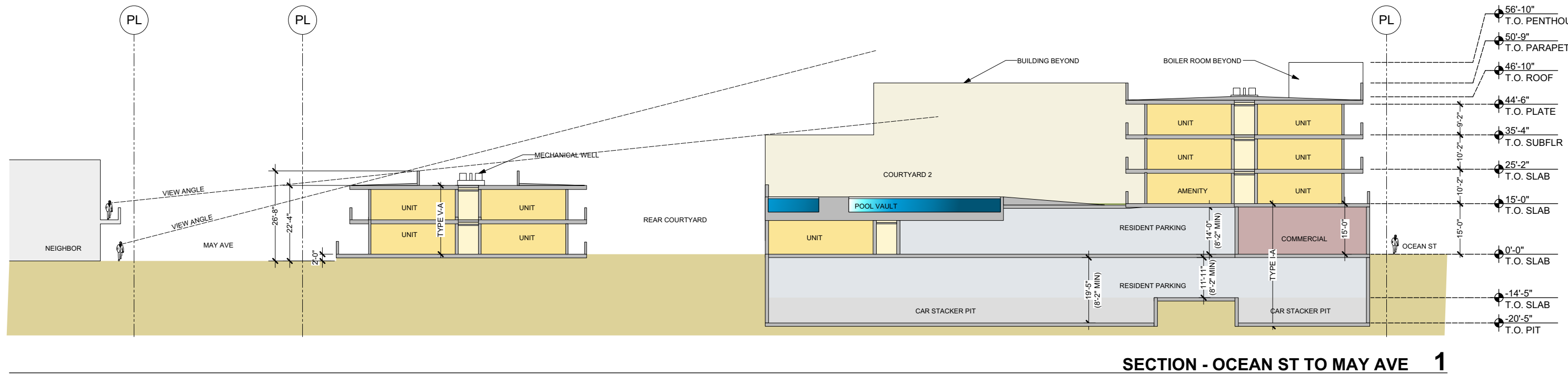


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BUILDING SECTION

1" = 30' **A13**



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