

SANTA CRUZ DOWNTOWN PARKLETS

95% COMPLETION

CONSTRUCTION DOCUMENTS AND DESIGN GUIDELINES

CITY OF SANTA CRUZ ECONOMIC DEVELOPMENT
 SANTA CRUZ, CA 95060
 PHONE: (831) 420 - 5157

PROJECT DESIGN TEAM:

LANDSCAPE ARCHITECT
 DILLON DESIGN ASSOCIATES, LLC
 849 ALMAR DRIVE
 SANTA CRUZ, CA 95060

CONTACT: RITA MANNA
 LANDSCAPE ARCH: MICHAEL DILLON
 (831) 854 - 7492

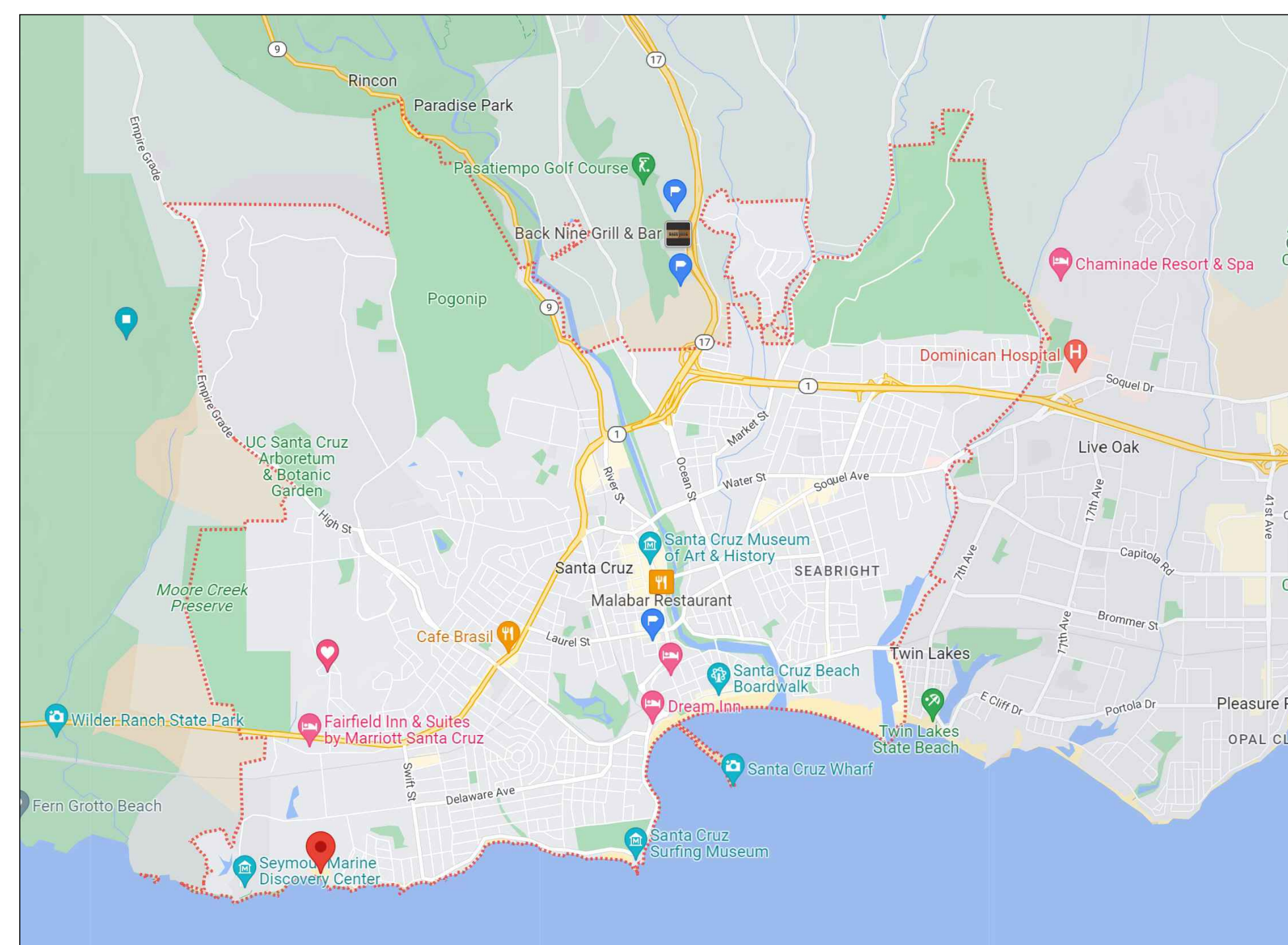
GENERAL NOTES

- DESIGN INTENT: THESE DRAWINGS REPRESENT THE GENERAL DESIGN INTENT TO BE IMPLEMENTED ON THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE ARCHITECT FOR ANY ADDITIONAL CLARIFICATION OR DETAILS NECESSARY TO ACCOMMODATE SITE CONDITIONS.
- CONTRACTOR SHALL INFORM THEMSELVES OF, AND FULLY ADHERE TO THE ZONING AND ORDINANCE REGULATIONS OF THE CITY AND/OR COUNTY WHERE THE PROJECT IS LOCATED, THE RULES, REGULATIONS AND REQUIREMENTS OF ALL GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE WORK, AND ALL FEDERAL AND STATE LAWS, CODES OR REGULATIONS REGARDING CONSTRUCTION ACTIVITY.
- CONTRACTOR SHALL INVESTIGATE AND PROCURE, AT THEIR EXPENSE, ANY AND ALL PERMITS THAT MAY BE REQUIRED ON PROJECT PRIOR TO BIDDING, THE CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS.
- CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNERS REPRESENTATIVE IF DISCREPANCY IS SUSPECTED BETWEEN THE SITE AND WHAT IS CONTAINED IN THE CONTRACT DOCUMENTS. NO ALLOWANCES WILL BE MADE TO THE CONTRACTOR DUE TO THEIR LACK OF FAMILIARITY WITH THE SITE CONDITIONS. CONTRACTOR SHALL CALL OUT "USA"-UNDERGROUND SERVICE ALERT (800-642-2444) AND HAVE USA THOROUGHLY MARK OUT ALL PUBLIC UTILITIES ON, OR ADJACENT TO THE SITE PRIOR TO ANY DEMOLITION OR EXCAVATION WORK. CONTRACTOR SHALL RECORD OR MAINTAIN USA MARKINGS IN LEGIBLE AND ACCESSIBLE FORM FOR DURATION OF PROJECT.
- CONTRACTOR SHALL AT ALL TIMES PROVIDE NOISE, DUST AND LITTER CONTROL ON THE PROJECT IN ACCORDANCE WITH GOVERNING AGENCIES OR DOCUMENTS LISTED ABOVE AND PER THE DISCRETION OF THE OWNERS REPRESENTATIVE.
- CONTRACTOR SHALL INSURE PROPER POSITIVE DRAINAGE TO EXISTING DRAINAGE STRUCTURES AT ALL TIMES. IF OPERATION OF ANY EXISTING DRAINAGE STRUCTURE OR UTILITY IS INTERRUPTED BY THE CONTRACTORS WORK, CONTRACTOR MUST HAVE ACCEPTABLE ALTERNATE METHODS IN PLACE PRIOR TO INTERRUPTION. THE OWNERS REPRESENTATIVE SHALL DETERMINE THE ACCEPTABILITY OF SUCH ALTERNATE METHODS.
- CONTRACTOR SHALL PROVIDE AND MAINTAIN EROSION CONTROL MEASURES IN CONFORMANCE WITH STANDARD CONSTRUCTION PRACTICES AS REQUIRED TO PROTECT THE PROJECT AND/OR ADJACENT PROPERTIES FROM DAMAGES DUE TO NATURAL OR MAN-MADE EROSION FORCES.
- CONTRACTOR IS RESPONSIBLE FOR REPAIRING OR REPLACING DAMAGES OR DAMAGED AREAS TO AN AS-WAS OR BETTER CONDITION IF IT CAN BE REASONABLY CONSTRUED THAT SUCH DAMAGES WERE DUE TO THE CONTRACTORS CONSTRUCTION ACTIVITY OR LACK OF AMPLE PROTECTIVE MEASURES. REPAIRS SHALL BE MADE SUBJECT TO THE DISCRETION OF THE OWNERS REPRESENTATIVE.
- UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL CERTIFY THAT ALL WORK HAS BEEN INSTALLED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. ALL VARIATIONS FROM THE DOCUMENTS MUST BE PRESENTED TO THE OWNERS REPRESENTATIVE ACCURATELY AND/OR GRAPHICALLY ON RECORD DRAWINGS PRIOR TO FINAL ACCEPTANCE. REFER TO SPECIFICATIONS FOR ADDITIONAL CLOSE-OUT INFORMATION AND PROCEDURES.
- CONTRACTOR SHALL DILIGENTLY PROTECT THE PROJECT SITE AND ALL CONSTRUCTION MATERIALS FROM VANDALISM OR DAMAGE UNTIL PROJECT FINAL ACCEPTANCE.
- CONTRACTOR SHALL PROVIDE DRINKING WATER AND PORTABLE REST ROOM FACILITIES FOR WORKER USE DURING CONSTRUCTION AT CONTRACTORS EXPENSE.
- CONTRACTOR SHALL MAKE ALL ARRANGEMENTS AND PAY ALL FEES TO ACQUIRE A METERED HOOKUP TO A CITY WATER SOURCE FOR ANY CONSTRUCTION WATER. ALL COSTS FOR SUCH WATER USE SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, CONTRACTOR SHALL PAY FOR IRRIGATION WATER USED DURING CONSTRUCTION AND MAINTENANCE PERIODS. IT IS THE CONTRACTORS RESPONSIBILITY TO INCLUDE ANTICIPATED COSTS IN THE BID PRICE.
- AT THE TIME OF FINAL INSPECTION, PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATE OF COMPLETION, CERTIFICATION OF INSTALLATION, IRRIGATION SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE.

PERSPECTIVE RENDERING: PARALLEL PARKLET



CITY OF SANTA CRUZ PARKLET STANDARDS ARE TO FALL WITHIN SANTA CRUZ CITY LIMITS



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APPLICABLE CODES

2023 CALIFORNIA MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO)
 2023 CALIFORNIA GREEN BUILDING STANDARDS CODE
 2023 BUILDING STANDARDS ADMINISTRATIVE CODE, PART 1, TITLE 24 C.C.R.
 2023 CALIFORNIA BUILDING CODE (CBC), PART 2, TITLE 24 C.C.R.
 2023 CALIFORNIA ELECTRICAL CODE (CEC), PART 3, TITLE 24 C.C.R.
 2023 CALIFORNIA MECHANICAL CODE (CMC), PART 4, TITLE 24 C.C.R.
 2023 CALIFORNIA PLUMBING CODE (CPC), PART 5, TITLE 24 C.C.R.
 2023 CALIFORNIA FIRE CODE (CFC), PART 9, TITLE 24, C.C.R.
 2023 CALIFORNIA REFERENCED STANDARDS CODE, PART 12, TITLE 24, C.C.R.
 TITLE 19, C.C.R., PUBLIC SAFETY, OFFICE OF THE STATE FIRE MARSHAL REGULATIONS
 2023 NFPA 72 - NATIONAL FIRE ALARM CODE WITH CALIFORNIA AMENDMENTS



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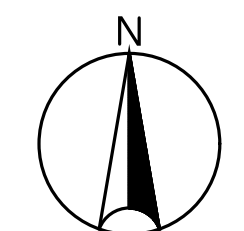
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SANTA CRUZ, CA 95060

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4		



ISSUE	PARKLET DESIGN SUBMISSION
DATE	20 APRIL 2023
SCALE	
SHEET TITLE & NUMBER	



COVER SHEET

SITE PLAN NOTES

- 1) ALL ELEMENTS OF DESIGN SHOWN ARE BASIC AND WILL SUPPORT OPTIONAL FEATURES IE:
- A) SHADE SAILS OR WATERPROOF STRUCTURE USING PROPOSED STRUCTURAL POSTS.
 - B) LIGHTING OR HEATING ON POSTS.
 - C) WOOD PANELS IN PLACE OF CORTEN STEEL MESH.
 - D) WOOD COLOR STAMPED CONCRETE PAVING.

SITE PREPARATION NOTES

- 1) SITE DEMOLITION SHALL CONSIST OF THE REMOVAL OF DEBRIS AND OR DAMAGED AREAS TO THE EXISTING CONCRETE PARKING SPACE.
- 2) DO NOT DAMAGE, DRILL, DEFACE, OR DESTROY THE EXISTING PAVING, PARKING STRIPING, CURBS, SIDEWALKS, STORM DRAINS, SEWER ACCESS, OR UTILITY ACCESS.

LAYOUT & DIMENSIONS NOTES

- 1. FIGURES SHOWN THUS: ALIGNMENT AND DIMENSIONS DENOTE COORDINATES POINTS AND INTERMEDIATE POINTS OF CONTROL TO BE USED FOR LAYOUT OF ALL IMPROVEMENTS SHOWN ON THESE PLANS. ALL TRANSITIONS OF P.C.C. WALKS, AND RAMPS SHALL BE CONSTRUCTED TO A STRAIGHT LINE. ALL ADJUSTMENTS OF THE "LAYOUT" SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SURVEY AND LAYOUT WORK AND FOR RE-ESTABLISHING AND REPLACING POINTS LOST, DISTURBED OR DAMAGED DURING THE COURSE OF CONSTRUCTION OR OTHERWISE.
- 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF THE LOCATIONS OF ALL UTILITIES IN THE FIELD. THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT (U.S.A.) AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION ON THIS PROJECT (PHONE: 800-227-2600).
- 4. ALL "LAYOUT" WORK SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO THE START OF FOUNDATION ESTABLISHMENT.
- 5. LAYOUT FOR P.C.C. WALKS, CURBWALLS AND CURBS ARE ON THE SIDE SHOWN ON THE PLAN.
- 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTING ALL CONCRETE WORK USING FORM LUMBER AND STAKES STRONG ENOUGH AND AT INTERVALS TO ASSURE A STRAIGHT LINE. ALL FORM WORK MUST BE APPROVED BY THE OWNER'S REP PRIOR TO POURING OF ANY CONCRETE.
- 7. THIS PLAN SHOWS THE SCORING AND EXPANSION JOINT LAYOUT OF ALL CONCRETE FLAT WORK FOR THIS PROJECT. SCORING PATTERNS ARE RADIAL TO THE CURVE, EXCEPT WHERE SHOWN OTHERWISE. ALL LAYOUT WORK MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE.
- 8. EXPANSION JOINT MATERIALS FOR ALL P.C.C. PAVEMENT SHALL BE 6" WHERE SHOWN OTHERWISE. ALL EXPANSION JOINTS SHALL RECEIVE ASPHALT FELT JOINTS INSTALLED AT 24" MINIMUM INTERVALS, EXCEPT VOICED CAPS & CAULKING TO MATCH CONCRETE COLOR. ALL SCORE LINES SHALL BE STRUCK EVERY 5' UNLESS SHOWN OTHERWISE.
- 9. CONCRETE SURFACES SHALL HAVE FINISHES TO MATCH EXISTING. SUBMIT SAMPLES TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO BROOMING.
- 10. ALL EXISTING UTILITY BOXES, VAULTS, VALVE COVERS, AND MANHOLES WITHIN THE AREA TO BE IMPROVED SHALL BE ADJUSTED TO THE NEW FINISH GRADE.

MATERIALS & FINISH SCHEDULE

HARDSCAPE

- 1. CONCRETE PAVING TO BE LOCALLY SOURCED CEMENT CURED WITH CEMENTONE CLEAR CONCRETE SEALER BY SCOFIELD (1-800-800-9900.) FINISH TO BE MEDIUM BROOM. STAMPING AND COLOR TO BE DETERMINED BY OWNER.
- 2. DRAINMAT: DO NOT PUNCTURE. CONCRETE FOUNDATION TO BE SET UPON DRAINMAT TO CREATE PROTECTIVE BARRIER BETWEEN (E) PAVING AND PARKLET FOUNDATION.
 - DRAINMAT TO BE 3'X12' DRAINMAT BY HYDROTECH (312-337-4998.) TO BE LAID CONTINUOUSLY WITH 18" FILTER FABRIC.
 - DRAINMAT PROTECTIVE SHEET TO BE HYDROTECH OR APPROVED EQUAL.
- 3. CONCRETE MASONRY UNIT (CMU BLOCK) TO BE ASTM C1372 BLOCK IN SIZES 4"X8", 6"X8", 8"X8", OR 12"X 8". SIZE PER CONTRACTOR NEEDS. GLAZED FINISH. COLOR PER OWNER AS OUTLINED IN THE DESIGN GUIDELINES.
- 4. STUCCO FINISH SYSTEM BY OMEGAFLEX FINE. APPLY 'BONDCRETE' BONDING AGENT, 'SUPER CEMENT' BASE COAT AND 'OMEGA FLEX' INTEGRAL COLOR ACRYLIC FINISH PER MANUFACTURER'S SPECIFICATIONS. PROVIDE 30" SQ. SAMPLES OF UP TO 3 COLORS SELECTED BY OWNER ON SITE.

WOOD

- 1. ALL WOOD TO BE LOCALLY SOURCED AND SUSTAINABLY HARVESTED REDWOOD. STAIN TO BE NATURAL REDWOOD OR APPROVED EQUAL.

METAL

- 1. HORIZONTAL BARRICADES AND POSTS TO BE CORTEN STEEL 11 GAUGE BY MODSTREET, INC. (1-970) 560-0888) OR APPROVED OTHER. POWDER COAT PER OWNER. POWDER COATING NOT REQUIRED. SEE DESIGN GUIDELINES AND DETAILS.
- 2. DIAMOND TREAD FLOOR PLATE TO BE: STEEL ASTM A-786, MEDIUM 4-WAY PATTERN, COMMERCIAL GRADE MILL FINISH, NOT POLISHED, GALVANIZED. TENSILE STRENGTH TO BE 60,000 +/-, YIELD = 33,000 +/-.

PEDESTAL PAVING

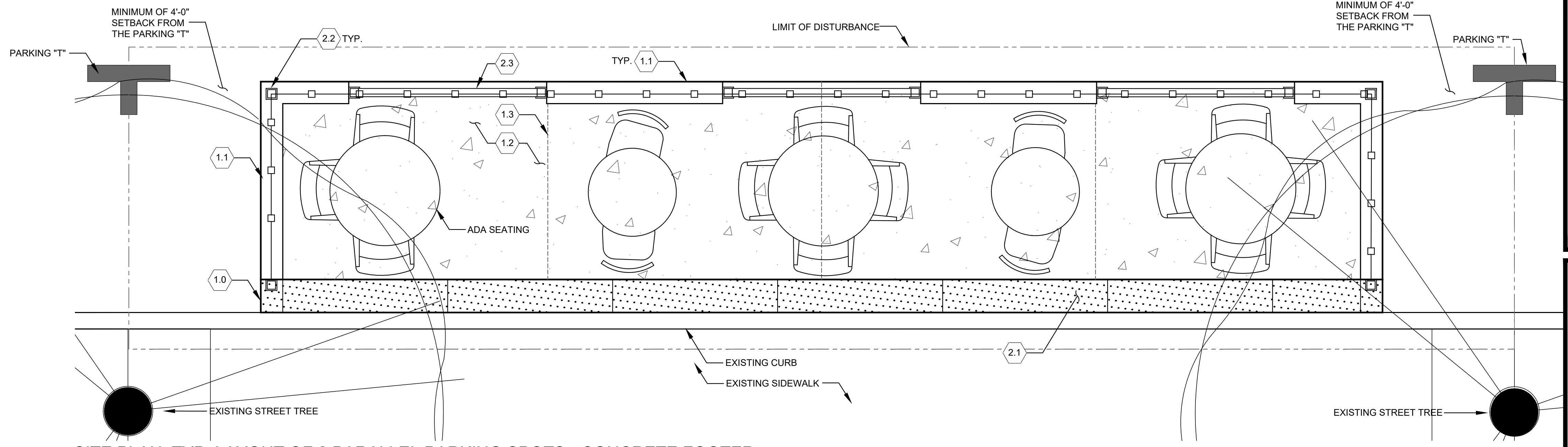
- 1. PEDESTAL PAVING TO BE 6'X6' NON-STICK COMPOSITE WEATHERPROOF DECKING SYSTEM BY MODSTREET, INC. (1-970) 560-0888) OR APPROVED EQUAL. DECKING COLOR AND STEEL POWDER COAT FINISHING PER OWNER. TO BE CORTEN STEEL CONSTRUCTION.

WIND SCREENING

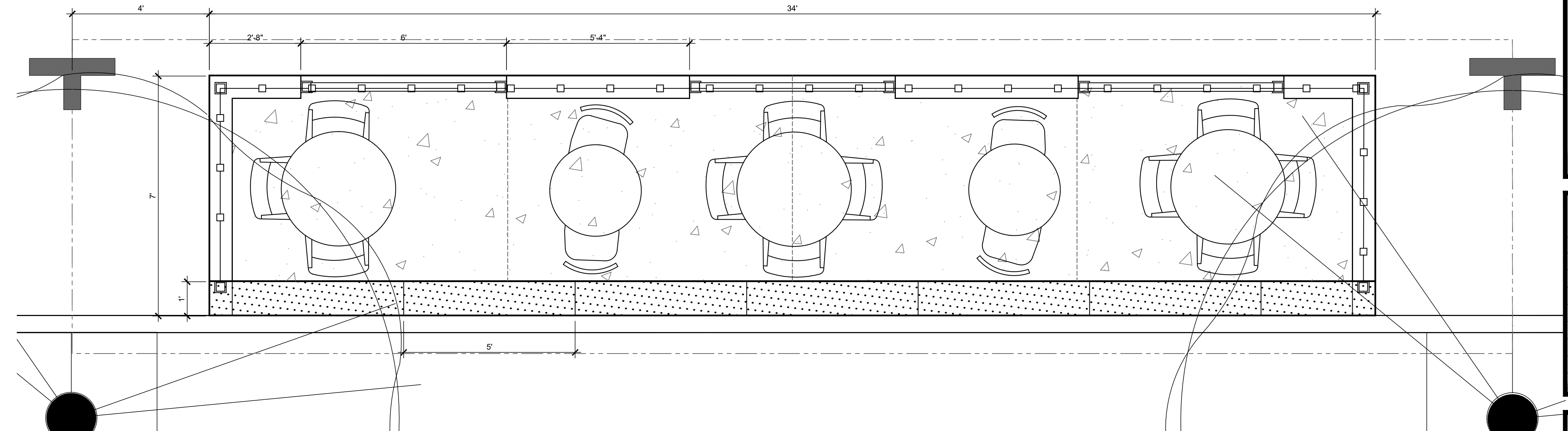
- 1. PLEXIGLASS TO BE Tuffak® FC TRANSPARENT POLYCARBONATE SHEET. MUST COMPLY WITH ANSII Z26.1 ITEM AS-6 WHICH COVERS TRANSPORTATION GLAZING APPLICATIONS. MUST BE CLEAR. MANUFACTURER: PROFESSIONAL PLASTICS, INC (888) 995-7767.

FURNITURE

- 1. SEATING AND FURNITURE PER OWNER. ADA SEATING MUST BE PROVIDED. OPTION TO SECURE FURNITURE TO CONCRETE FOUNDATION.



SITE PLAN: TYP. LAYOUT OF 2 PARALLEL PARKING SPOTS - CONCRETE FOOTER
SCALE = 1/2" = 1'-0"



LAYOUT & DIMENSIONS PLAN: 2 PARALLEL SPOTS WITH CONCRETE FOOTER
SCALE = 1/2" = 1'-0"

SITE SCHEDULE

- DETAIL 1.0 FOUNDATION & DRAINAGE**
- (A L-3.0) 1.0 'STORM DRAINAGE SETBACK' - MIN. 1'-0" SETBACK OF CONCRETE FOOTING TO ALLOW FOR STORM WATER RUNOFF. OWNER RESPONSIBLE TO MAINTAIN THIS AREA IS CLEAR OF ALL DEBRIS.
 - (B & E L-3.0) 1.1 'CMU BLOCK WALL & SAFETY BARRIER' TO BE REINFORCED WITH REBAR & CONCRETE FOR PATRON SAFETY. FINISHING PER OWNER. SEE MATERIALS AND FINISH SCHEDULE FOR PRODUCT SPECIFICATIONS. SEE DETAILS.
 - (A & C L-3.0) 1.2 'PARKLET FOUNDATION & FLOORING' PER OWNER. SEE DESIGN GUIDELINES FOR FOUNDATION OPTIONS. SEE MATERIALS AND FINISH SCHEDULE FOR PRODUCT SPECIFICATIONS.
 - (A L-3.1) 1.3 CONCRETE EXPANSION JOINT. TO BE USED ONLY WITH CONCRETE FOUNDATION. SEE DETAIL.
- DETAIL 2.0 BARACADE & FINISHINGS**
- (A L-3.0) 2.1 'DIAMOND PLATE DRAINAGE COVER' - PLATE TO COVER STORM DRAINAGE SETBACK. ALLOWS FOR SEAMLESS PEDESTRIAN EXPERIENCE WITHOUT TRIP HAZARD. SEE MATERIALS AND FINISH SCHEDULE FOR PRODUCT SPECIFICATIONS. TO BE CUT INTO 5'-0" STRIPS TO ALLOW FOR EASY LIFTING AND CLEAN-OUT OF DRAINAGE AREA.
 - 2.2 'STEEL POST' TO BE CORTEN STEEL 4X4 POST, 10'-0" ABOVE FINISH GRADE. POST TO FACILITATE OVERHEAD LIGHTING AND/OR SHADE SAIL. SEE MATERIALS AND FINISH SCHEDULE.
 - 2.3 'STEEL BARACADE' TO BE SEE-THROUGH ALLOWING FOR INTERIOR OF THE PARKLET TO BE VISIBLE FROM THE STREET FOR SAFETY PURPOSES. FRAMING TO BE CORTEN STEEL PER MATERIALS AND FINISH SCHEDULE. - "SEE THROUGH" - NO MATERIAL MAY COVER MORE THAN 60% OF THE PANEL.
 - (D & F L-3.0) 2.4 'WIND SCREEN - OPTIONAL' OPTIONAL CHOICE TO PROTECT PATRONS AND PEDESTRIANS FROM WIND & WEATHER ELEMENTS. SEE MATERIALS AND FINISH SCHEDULE. SEE DETAILS.

SITE & LAYOUT PLAN LEGEND

SYMBOL	DESCRIPTION
	CONCRETE PAVING PER NOTES
	CMU SAFETY WALL
	DIAMOND STEEL PLATE
	LIMIT OF WORK
	WIND SCREEN PER DETAIL
	EXPANSION JOINT PER DETAIL
	CONTROL JOINT PER DETAIL
	DETAIL REFERENCE
	SHEET REFERENCE

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URBAN DESIGN
SITE PLANNING
GREEN BUILDING
CLN 1910

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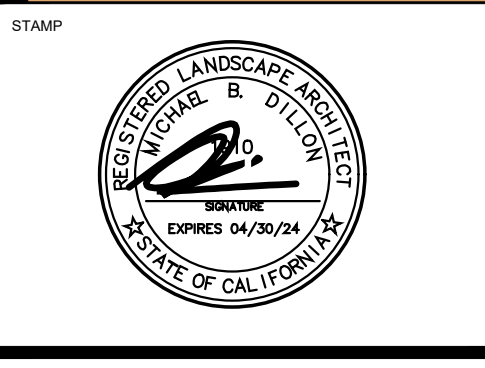
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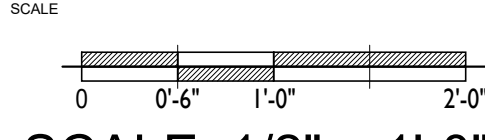
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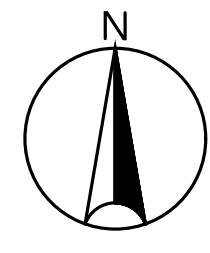
PARKLET DESIGN SUBMISSION

DATE: 20 APRIL 2023



SHEET TITLE & NUMBER

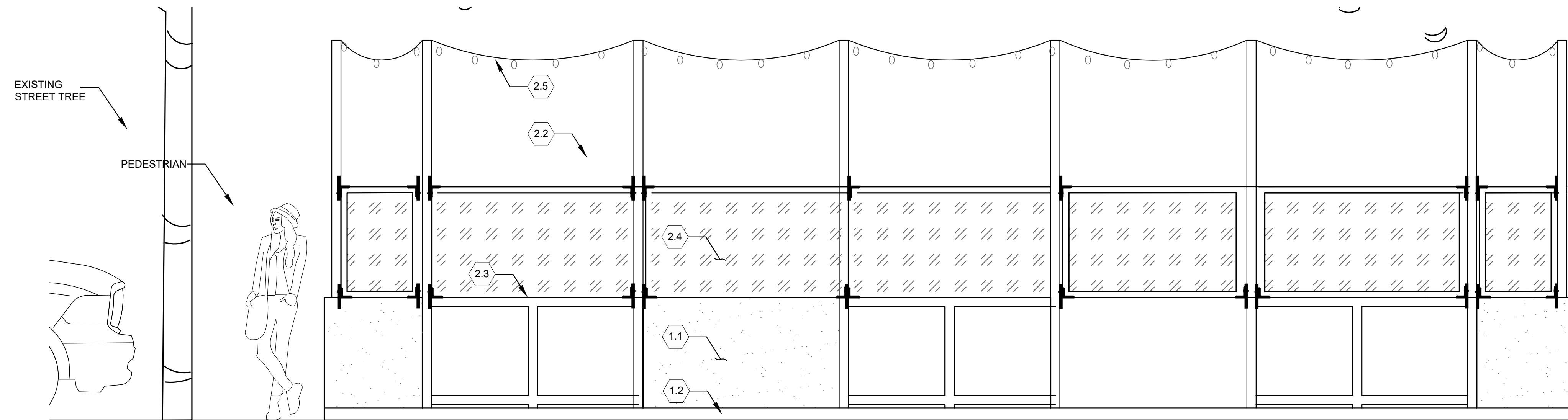
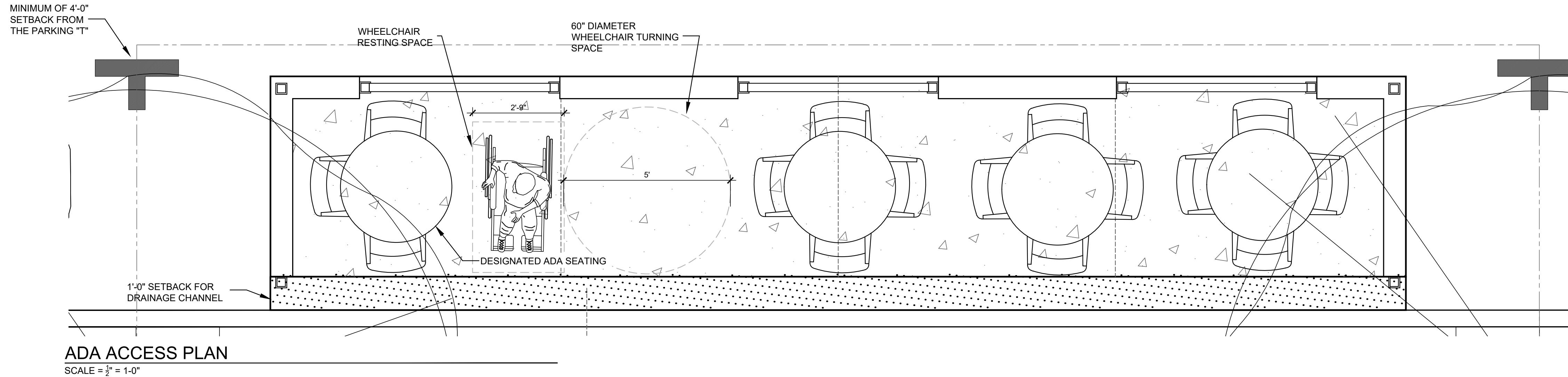
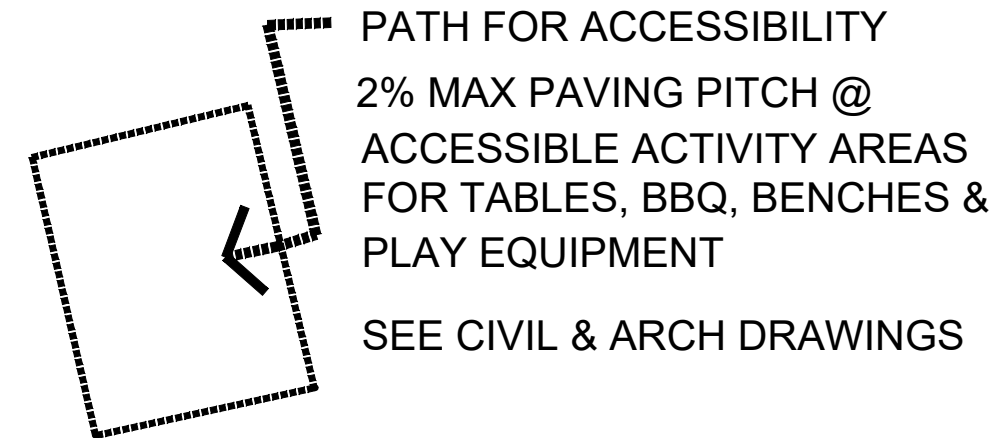
L-1.0
PARALLEL
PARKLET
SITE & LAYOUT



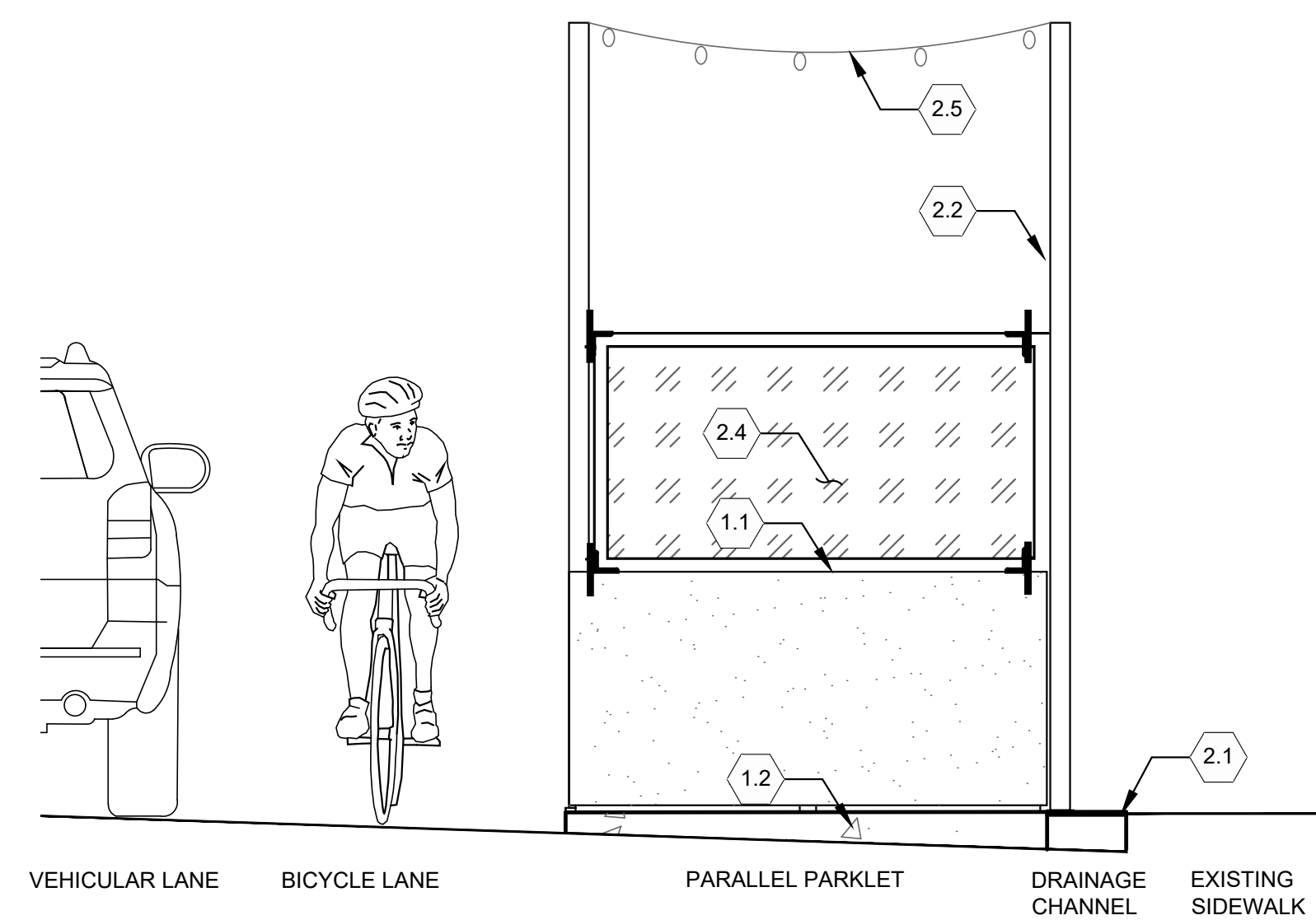
ACCESSIBILITY NOTES

1. THESE PLANS SHOW A BEST EFFORT TO ACHIEVE ACCESSIBILITY WITHIN EXISTING CONDITIONS. THESE PLANS INCLUDE, BUT ARE NOT LIMITED TO WALKS, LANDINGS, TABLES, & BENCHES.
THE EXISTING CONDITIONS MAY BE SUCH THAT THE GRADES WILL NOT ALLOW STRICT ADHERENCE TO 2% MAX SLOPE AT LOADING & EQUIPMENT

NOTE: SEE ARCH. & CIVIL DRAWINGS FOR FINISH GRADE LAYOUT & PATH OF TRAVEL IMPROVEMENTS



ELEVATION: VIEW FROM THE STREET
SCALE = 1/2" = 1'-0"



SECTION: VIEW FROM THE ADJACENT PARALLEL PARKING SPACE
SCALE = 1/2" = 1'-0"

SITE SCHEDULE

- DETAIL 1.0 FOUNDATION & DRAINAGE**
- (A & C L-3.0) 1.0 'STORM DRAINAGE SETBACK' - MIN. 1'-0" SETBACK OF CONCRETE FOOTING TO ALLOW FOR STORM WATER RUNOFF. OWNER RESPONSIBLE TO MAINTAIN THIS AREA IS CLEAR OF ALL DEBRIS.
 - (B & E L-3.0) 1.1 'CMU BLOCK WALL & SAFETY BARRIER' TO BE REINFORCED WITH REBAR & CONCRETE FOR PATRON SAFETY. FINISHING PER OWNER. SEE MATERIALS AND FINISH SCHEDULE FOR PRODUCT SPECIFICATIONS. SEE DETAILS.
 - (A & C L-3.0) 1.2 'PARKLET FOUNDATION & FLOORING' PER OWNER. SEE DESIGN GUIDELINES FOR FOUNDATION OPTIONS. SEE MATERIALS AND FINISH SCHEDULE FOR PRODUCT SPECIFICATIONS.
- DETAIL 2.0 BARCADE & FINISHINGS**
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 - 2.5 'CAFE STRING LIGHTS - OPTIONAL' SEE DESIGN GUIDELINES. ALL LIGHTING MUST BE SECURELY HUNG OVER THE PARKLET AREA AND MAY NOT EXTEND OVER THE SIDEWALK SHINE INTO THE STREET. OR OTHERWISE INTERFERE WITH VEHICULAR TRAVEL. BATTERY OR SOLAR POWERED LIGHTING ELEMENTS ARE PERMITTED WITHIN THE PARKLET AREA.

SITE & LAYOUT PLAN LEGEND

- | SYMBOL | DESCRIPTION |
|--------|----------------------------|
| | CONCRETE PAVING PER NOTES |
| | CMU SAFETY WALL |
| | DIAMOND STEEL PLATE |
| | LIMIT OF WORK |
| | WIND SCREEN PER DETAIL |
| | EXPANSION JOINT PER DETAIL |
| | CONTROL JOINT PER DETAIL |
| | DETAIL REFERENCE |
| | SHEET REFERENCE |

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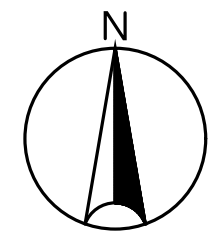
20 APRIL 2023

SCALE

SCALE: 1/2" = 1'-0"

SHEET TITLE & NUMBER

L-1.1
PARALLEL PARKLET LAYOUT PLAN



MATERIALS & FINISH SCHEDULE

HARDSCAPE

- CONCRETE PAVING TO BE LOCALLY SOURCED CEMENT CURED WITH CEMENTONE CLEAR CONCRETE SEALER BY SCOFIELD (1-800-800-9900.) FINISH TO BE MEDIUM BROOM. STAMPING AND COLOR TO BE DETERMINED BY OWNER.
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 - DRAINMAT TO BE 3"X12" DRAINMAT BY HYDROTECH (312-337-4998.) TO BE LAID CONTINUOUSLY WITH 18" FILTER FABRIC.
 - DRAINMAT PROTECTIVE SHEET TO BE HYDROTECH OR APPROVED EQUAL.
- CONCRETE MASONRY UNIT (CMU BLOCK) TO BE ASTM C1372 BLOCK IN SIZES 4"X8" 6"X8" 8"X8" OR 12"X 8". SIZE PER CONTRACTOR NEEDS. GLAZED FINISH. COLOR PER OWNER AS OUTLINED IN THE DESIGN GUIDELINES.
- STUCCO FINISH SYSTEM BY OMEGAFLEX FINE. APPLY 'BONDCRETE' BONDING AGENT, 'SUPER CEMENT' BASE COAT AND 'OMEGA FLEX' INTEGRAL COLOR ACRYLIC FINISH PER MANUFACTURER'S SPECIFICATIONS. MATCH RESIDENCE IN COLOR. PROVIDE 30" SQ. SAMPLES OF UP TO 3 COLORS SELECTED BY HOMEOWNER ON SITE.

WOOD

- ALL WOOD TO BE LOCALLY SOURCED AND SUSTAINABLY HARVESTED REDWOOD. STAIN TO BE NATURAL REDWOOD OR APPROVED EQUAL.

METAL

- HORIZONTAL BARRICADES AND POSTS TO BE CORTEN STEEL 11 GAUGE BY MODSTREET, INC. ((970) 560-0888) OR APPROVED OTHER. POWDER COAT PER OWNER. POWDER COATING NOT REQUIRED. SEE DESIGN GUIDELINES AND DETAILS.
- DIAMOND TREAD FLOOR PLATE TO BE: STEEL ASTM A-786, MEDIUM 4-WAY PATTERN, COMMERCIAL GRADE MILL FINISH, NOT POLISHED. GALVANIZED. TENSILE STRENGTH TO BE 60,000 +/-, YIELD = 33,000 +/-.

PEDESTAL PAVING

- PEDESTAL PAVING TO BE 6"X6" NON-STICK COMPOSITE WEATHERPROOF DECKING SYSTEM BY MODSTREET, INC. ((970) 560-0888) OR APPROVED EQUAL. DECKING COLOR AND STEEL POWDER COAT FINISHING PER OWNER. TO BE CORTEN STEEL CONSTRUCTION.

WIND SCREENING

- PLEXIGLASS TO BE

FURNITURE

- SEATING AND FURNITURE PER OWNER. ADA SEATING MUST BE PROVIDED. OPTION TO SECURE FURNITURE TO CONCRETE FOUNDATION.

SITE SCHEDULE

DETAIL 1.0 FOUNDATION & DRAINAGE

- 1.0** 'STORM DRAINAGE SETBACK' - MIN. 1'-0" SETBACK OF CONCRETE FOOTING TO ALLOW FOR STORM WATER RUNOFF. OWNER RESPONSIBLE TO MAINTAIN THIS AREA IS CLEAR OF ALL DEBRIS.
- 1.1** 'CMU BLOCK WALL & SAFETY BARRIER' TO BE REINFORCED WITH REBAR & CONCRETE FOR PATRON SAFETY. FINISHING PER OWNER. SEE MATERIALS AND FINISH SCHEDULE FOR PRODUCT SPECIFICATIONS. SEE DETAILS.
- 1.2** 'PARKLET FOUNDATION & FLOORING' PER OWNER. SEE DESIGN GUIDELINES FOR FOUNDATION OPTIONS. SEE MATERIALS AND FINISH SCHEDULE FOR PRODUCT SPECIFICATIONS.

DETAIL 2.0 BARACADE & FINISHINGS

- 2.1** 'DIAMOND PLATE DRAINAGE COVER' - PLATE TO COVER STORM DRAINAGE SETBACK. ALLOWS FOR SEAMLESS PEDESTRIAN EXPERIENCE WITHOUT TRIP HAZARD. SEE MATERIALS AND FINISH SCHEDULE FOR PRODUCT SPECIFICATIONS. TO BE CUT INTO 3'-0" STRIPS TO ALLOW FOR EASY LIFTING AND CLEAN-OUT OF DRAINAGE AREA.
- 2.2** 'STEEL POST' TO BE CORTEN STEEL 4X4 POST, 10'-0" ABOVE FINISH GRADE. POST TO FACILITATE OVERHEAD LIGHTING AND/OR SHADE SAIL. SEE MATERIALS AND FINISH SCHEDULE.
- 2.3** 'STEEL BARACADE' TO BE SEE-THROUGH ALLOWING FOR INTERIOR OF THE PARKLET TO BE VISIBLE FROM THE STREET FOR SAFETY PURPOSES. FRAMING TO BE CORTEN STEEL PER MATERIALS AND FINISH SCHEDULE. -"SEE THROUGH"- NO MATERIAL MAY COVER MORE THAN 60% OF THE PANEL.
- 2.4** 'WIND SCREEN - OPTIONAL' OPTIONAL CHOICE TO PROTECT PATRONS AND PEDESTRIANS FROM WIND & WEATHER ELEMENTS. SEE MATERIALS AND FINISH SCHEDULE. SEE DETAILS.
- 2.5** 'SAFE STRING LIGHTS - OPTIONAL' SEE DESIGN GUIDELINES. ALL LIGHTING MUST BE SECURELY HUNG OVER THE PARKLET AREA AND MAY NOT EXTEND OVER THE SIDEWALK. SHINE INTO THE STREET. OR OTHERWISE INTERFERE WITH VEHICULAR TRAVEL. BATTERY OR SOLAR POWERED LIGHTING ELEMENTS ARE PERMITTED WITHIN THE PARKLET AREA.
- 2.6** 'FURNITURE' PER BUSINESS OWNER. FURNITURE IS PLACED IN THIS PLAN FOR VISUALIZATION PURPOSES. SEE MATERIALS AND FINISH SCHEDULE.

SITE & LAYOUT PLAN LEGEND

SYMBOL	DESCRIPTION
	CONCRETE PAVING PER NOTES
	CMU SAFETY WALL
	DIAMOND STEEL PLATE
	LIMIT OF WORK
	WIND SCREEN PER DETAIL
	EXPANSION JOINT PER DETAIL
	CONTROL JOINT PER DETAIL
	DETAIL REFERENCE
	SHEET REFERENCE

SITE PLAN NOTES

- ALL ELEMENTS OF DESIGN SHOWN ARE BASIC AND WILL SUPPORT OPTIONAL FEATURES IE:
 - SHADE SAILS OR WATERPROOF STRUCTURE USING PROPOSED STRUCTURAL POSTS
 - LIGHTING OR HEATING ON POSTS.
 - WOOD PANELS IN PLACE OF CORTEN STEEL MESH.
 - WOOD COLOR STAMPED CONCRETE PAVING.

SITE PREPARATION NOTES

- SITE DEMOLITION SHALL CONSIST OF THE REMOVAL OF DEBRIS AND OR DAMAGED AREAS TO THE EXISTING CONCRETE PARKING SPACE.
- DO NOT DAMAGE, DRILL INTO, DEFACE, OR DESTROY THE EXISTING PAVING, PARKING STRIPING, CURBS, SIDEWALKS, STORM DRAINS, SEWER ACCESS, OR UTILITY ACCESS.

LAYOUT & DIMENSIONS NOTES

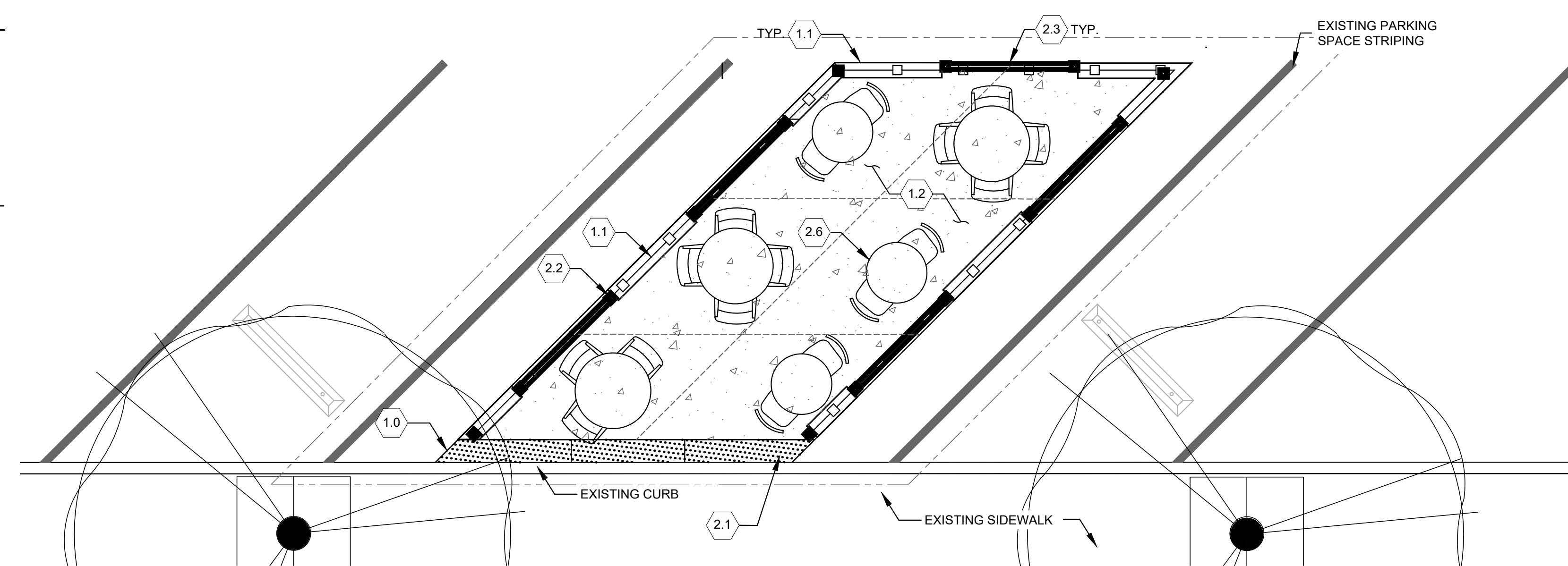
- FIGURES SHOWN THUS: ALIGNMENT AND DIMENSIONS DENOTE COORDINATES POINTS AND INTERMEDIATE POINTS OF CONTROL TO BE USED FOR LAYOUT OF ALL IMPROVEMENTS SHOWN ON THESE PLANS. ALL TRANSITIONS OF P.C.C. WALKS, AND RAMPS SHALL BE CONSTRUCTED TO A STRAIGHT LINE. ALL ADJUSTMENTS OF THE "LAYOUT" SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SURVEY AND LAYOUT WORK AND FOR RE-ESTABLISHING AND REPLACING POINTS LOST, DISTURBED OR DAMAGED DURING THE COURSE OF CONSTRUCTION OR OTHERWISE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF THE LOCATIONS OF ALL UTILITIES IN THE FIELD. THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT (U.S.A.) AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION ON THIS PROJECT (PHONE: 800-227-2600).
- ALL "LAYOUT" WORK SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO THE START OF FOUNDATION ESTABLISHMENT.
- LAYOUT FOR P.C.C. WALKS, CURBWALLS AND CURBS ARE ON THE SIDE SHOWN ON THE PLAN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTING ALL CONCRETE WORK USING FORM LUMBER AND STAKES STRONG ENOUGH AND AT INTERVALS TO ASSURE A STRAIGHT LINE. ALL FORM WORK MUST BE APPROVED BY THE OWNER'S REP PRIOR TO POURING OF ANY CONCRETE.
- THIS PLAN SHOWS THE SCORING AND EXPANSION JOINT LAYOUT OF ALL CONCRETE FLAT WORK FOR THIS PROJECT. SCORING PATTERNS ARE RADIAL TO THE CURVE, EXCEPT WHERE SHOWN OTHERWISE. ALL LAYOUT WORK MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE.
- EXPANSION JOINT MATERIALS FOR ALL P.C.C. PAVEMENT SHALL BE 6" WHERE SHOWN OTHERWISE. ALL EXPANSION JOINTS SHALL RECEIVE ASPHALT FELT JOINTS INSTALLED AT 24" MINIMUM INTERVALS, EXCEPT VOIDCAPS & CALKINGS TO MATCH CONCRETE COLOR. ALL SCORE LINES SHALL BE STRUCK EVERY 5' UNLESS SHOWN OTHERWISE.
- CONCRETE SURFACES SHALL HAVE FINISHES TO MATCH EXISTING. SUBMIT SAMPLES TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO BROOMING.
- ALL EXISTING UTILITY BOXES, VAULTS, VALVE COVERS, AND MANHOLES WITHIN THE AREA TO BE IMPROVED SHALL BE ADJUSTED TO THE NEW FINISH GRADE.

ACCESSIBILITY NOTES

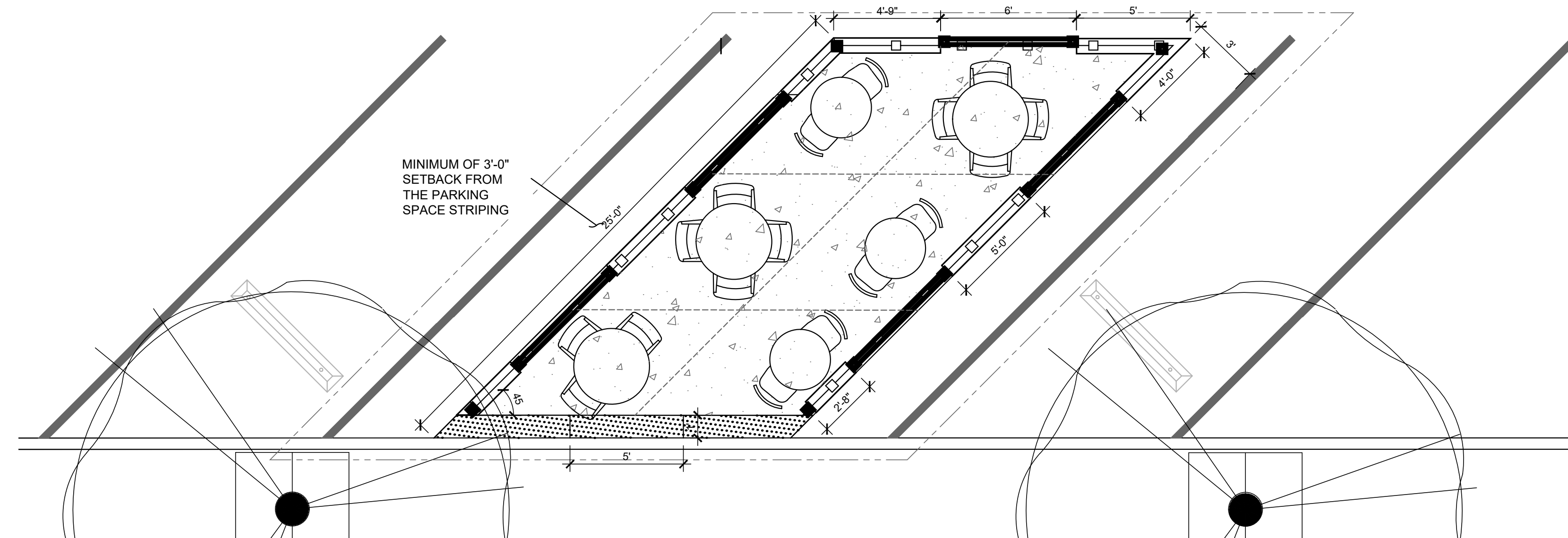
- THESE PLANS SHOW A BEST EFFORT TO ACHIEVE ACCESSIBILITY WITHIN EXISTING CONDITIONS. THESE PLANS INCLUDE, BUT ARE NOT LIMITED TO WALKS, LANDINGS, TABLES, & BENCHES. THE EXISTING CONDITIONS MAY BE SUCH THAT THE GRADES WILL NOT ALLOW STRICT ADHERENCE TO 2% MAX SLOPE AT LOADING & EQUIPMENT

NOTE: SEE ARCH. & CIVIL DRAWINGS FOR FINISH GRADE LAYOUT & PATH OF TRAVEL IMPROVEMENTS

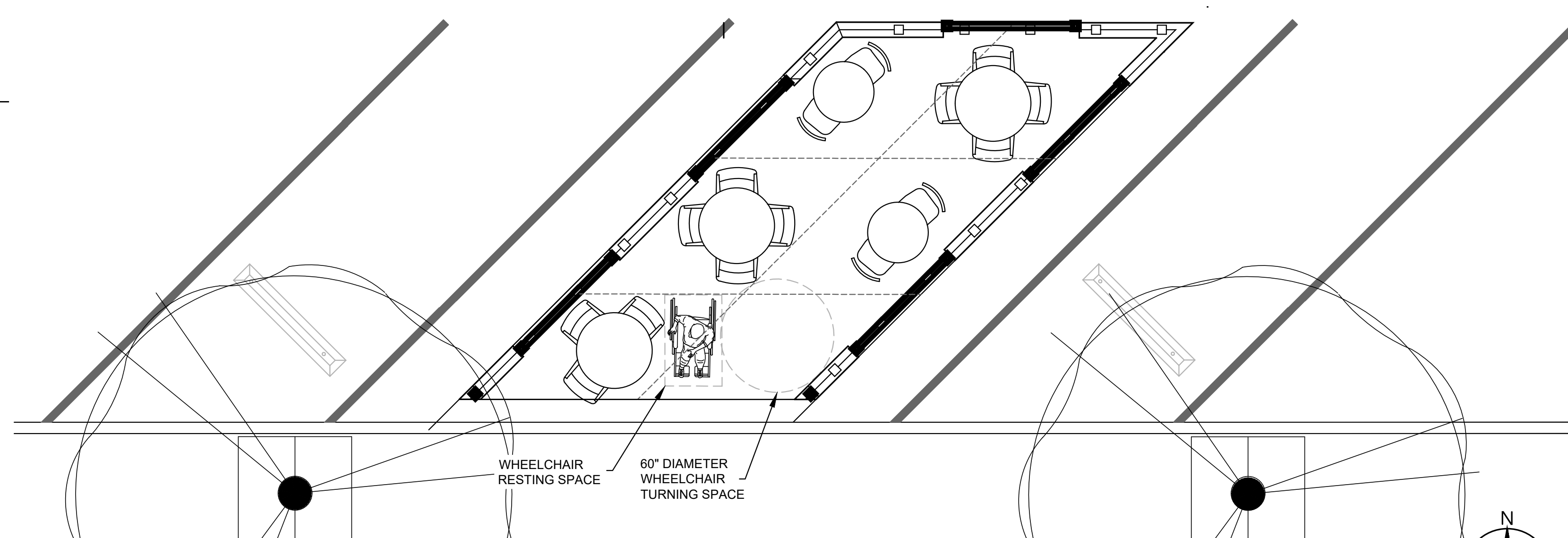
- PATH FOR ACCESSIBILITY
2% MAX PAVING PITCH @ ACCESSIBLE ACTIVITY AREAS FOR TABLES, BBQ, BENCHES & PLAY EQUIPMENT
- SEE CIVIL & ARCH DRAWINGS



SITE PLAN: TYP. LAYOUT OF 2 DIAGONAL PARKING SPOTS
SCALE = 1/4" = 1'-0"



LAYOUT PLAN
SCALE = 1/4" = 1'-0"



ADA ACCESS PLAN
SCALE = 1/4" = 1'-0"



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CITY OF SANTA CRUZ
DOWNTOWN PARKLET
DESIGN & STANDARDS
SANTA CRUZ, CA 95060

ISSUANCES AND REVISIONS		
NO.	DATE	DESCRIPTION
1	07 DEC 2022	90% PROGRESS SUBMITTAL
2	17 JAN 2023	95% PROGRESS SUBMITTAL
3	17 MAR 2023	95% PROGRESS SUBMITTAL
4		



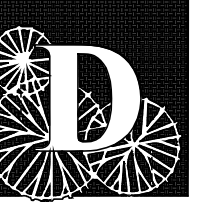
ISSUE
PARKLET DESIGN SUBMISSION

DATE
20 APRIL 2023

SCALE
0 2'-0" 4'-0" 8'-0"

SCALE: 1/4" = 1'-0"

SHEET TITLE & NUMBER
L-2.0
DIAGONAL
PARKLET
SITE & LAYOUT
PLANS



DILLON DESIGN ASSOCIATES
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840 ALAMAR AVE. #C-162 SANTA CRUZ CA 95060
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(831) 420-1648

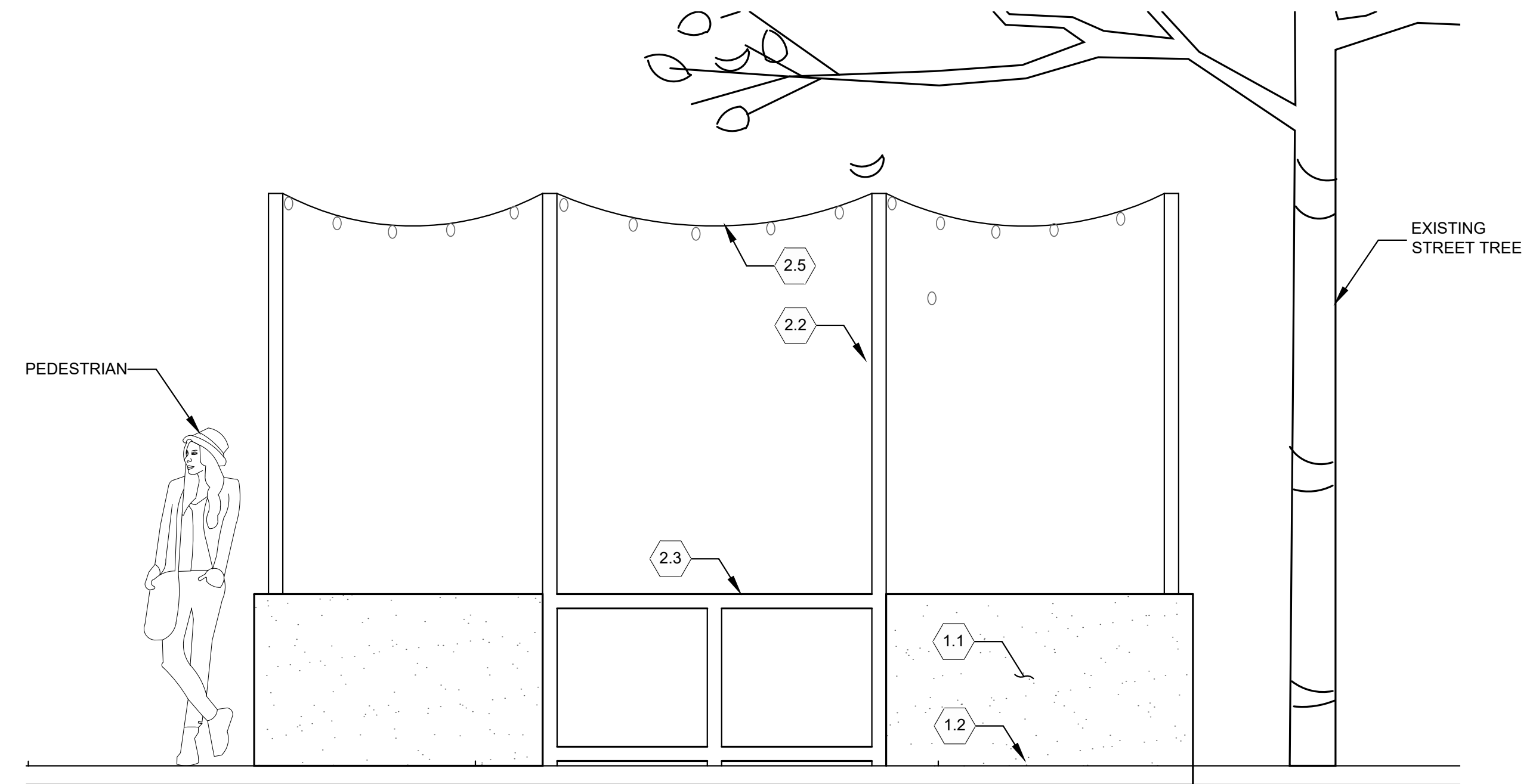
URBAN DESIGN
SITE PLANNING
GREEN BUILDING
CLN 1910

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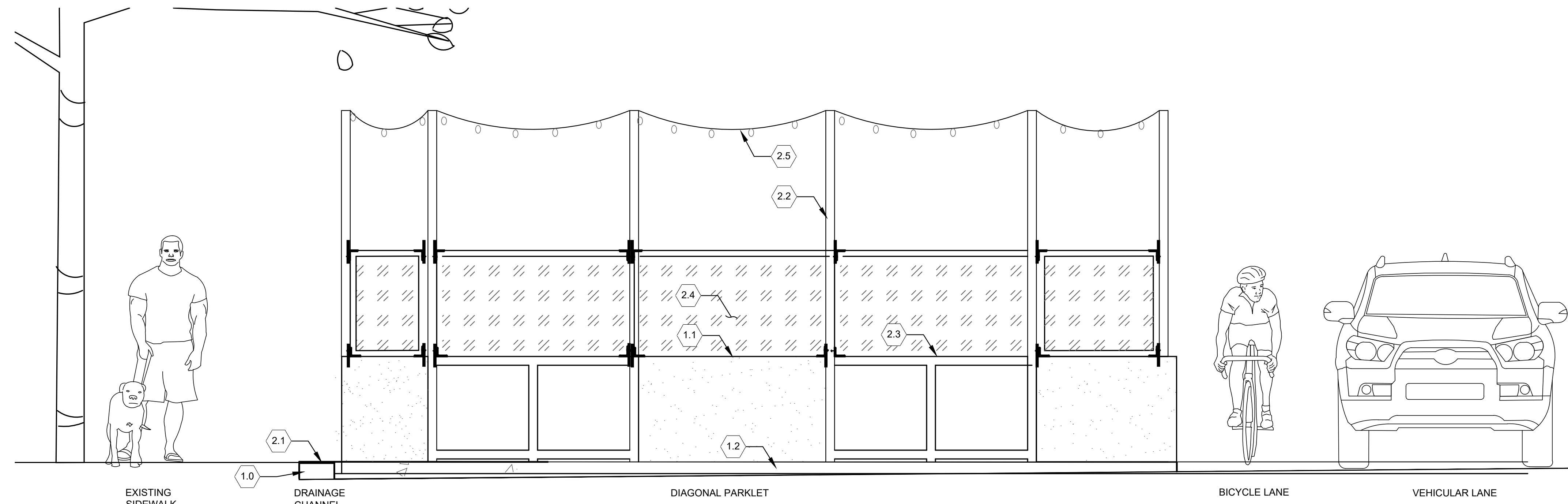
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SANTA CRUZ, CA 95060



SECTION DRAWING: VIEW FROM THE SIDE
SCALE = 1/2" = 1'-0"



SECTION DRAWING: VIEW FROM THE ADJACENT DIAGONAL PARKING SPACE
SCALE = 1/2" = 1'-0"

SITE SCHEDULE

DETAIL 1.0 FOUNDATION & DRAINAGE

'STORM DRAINAGE SETBACK' - MIN. 1'-0" SETBACK OF CONCRETE FOOTING TO ALLOW FOR STORM WATER RUNOFF. OWNER RESPONSIBLE TO MAINTAIN THIS AREA IS CLEAR OF ALL DEBRIS.

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'PARKLET FOUNDATION & FLOORING' PER OWNER. SEE DESIGN GUIDELINES FOR FOUNDATION OPTIONS. SEE MATERIALS AND FINISH SCHEDULE FOR PRODUCT SPECIFICATIONS.

DETAIL 2.0 BARCADE & FINISHINGS

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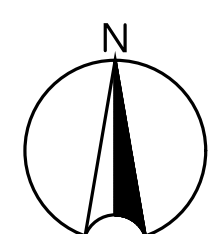
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SITE & LAYOUT PLAN LEGEND

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	CMU SAFETY WALL
	DIAMOND STEEL PLATE
	LIMIT OF WORK
	WIND SCREEN PER DETAIL
	EXPANSION JOINT PER DETAIL
	CONTROL JOINT PER DETAIL

X
LXX
DETAIL REFERENCE
SHEET REFERENCE



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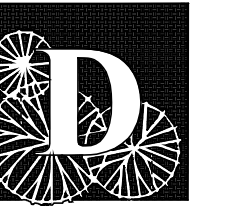
PARKLET DESIGN SUBMISSION

DATE 20 APRIL 2023

SCALE 0 2'-0" 4'-0" 8'-0"

SCALE: 1/4" = 1'-0"

SHEET TITLE & NUMBER
L-2.1
DIAGONAL
PARKLET
ELEVATIONS



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URBAN DESIGN
SITE PLANNING
GREEN BUILDING
CLN 1910

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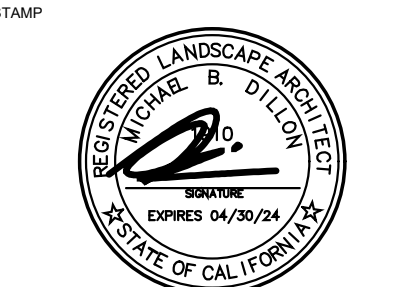
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**CITY OF SANTA CRUZ
DOWNTOWN PARKLET
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SANTA CRUZ, CA 95060

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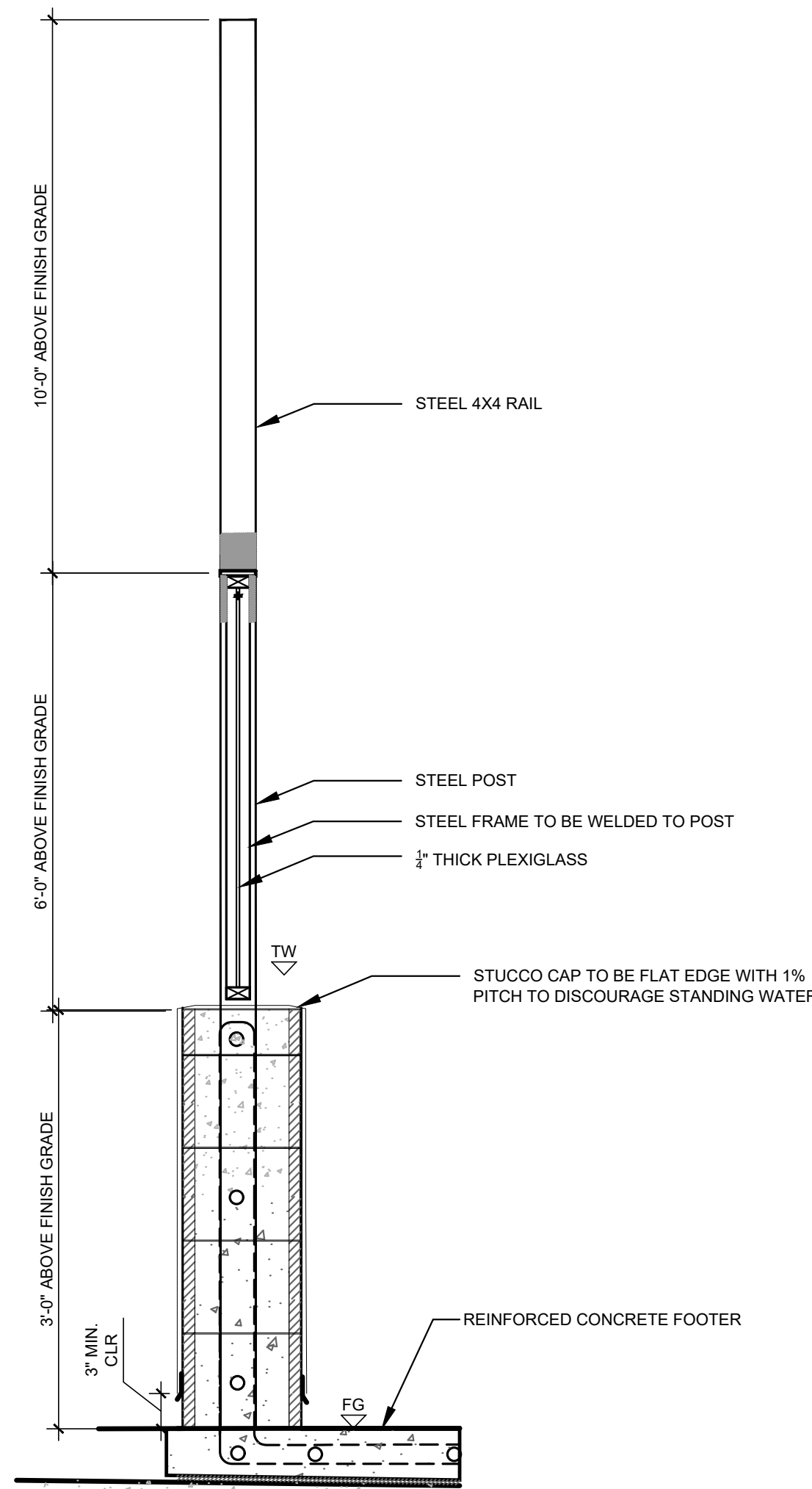
**PARKLET DESIGN
SUBMISSION**

DATE
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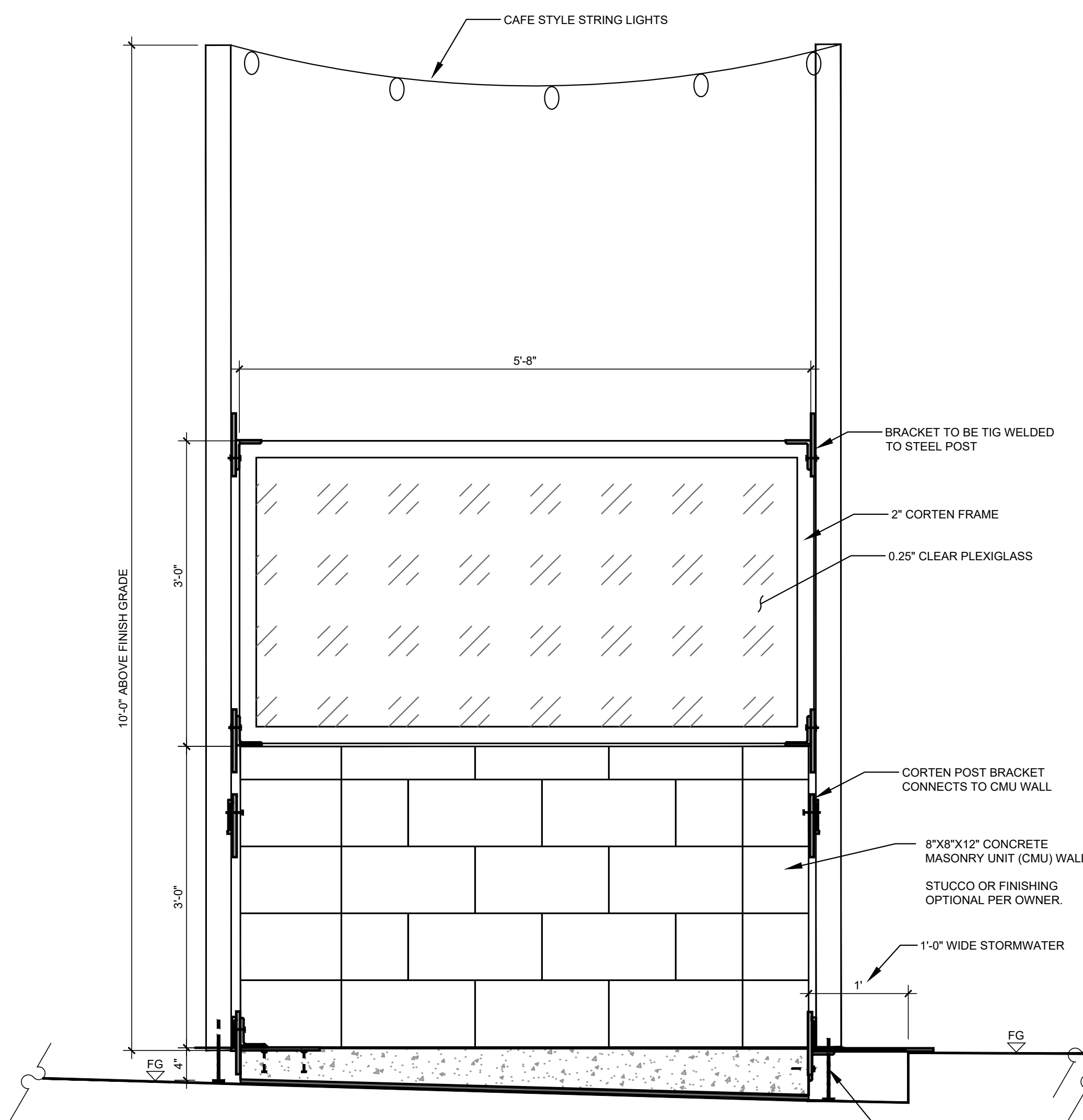
SCALE

SHEET TITLE & NUMBER

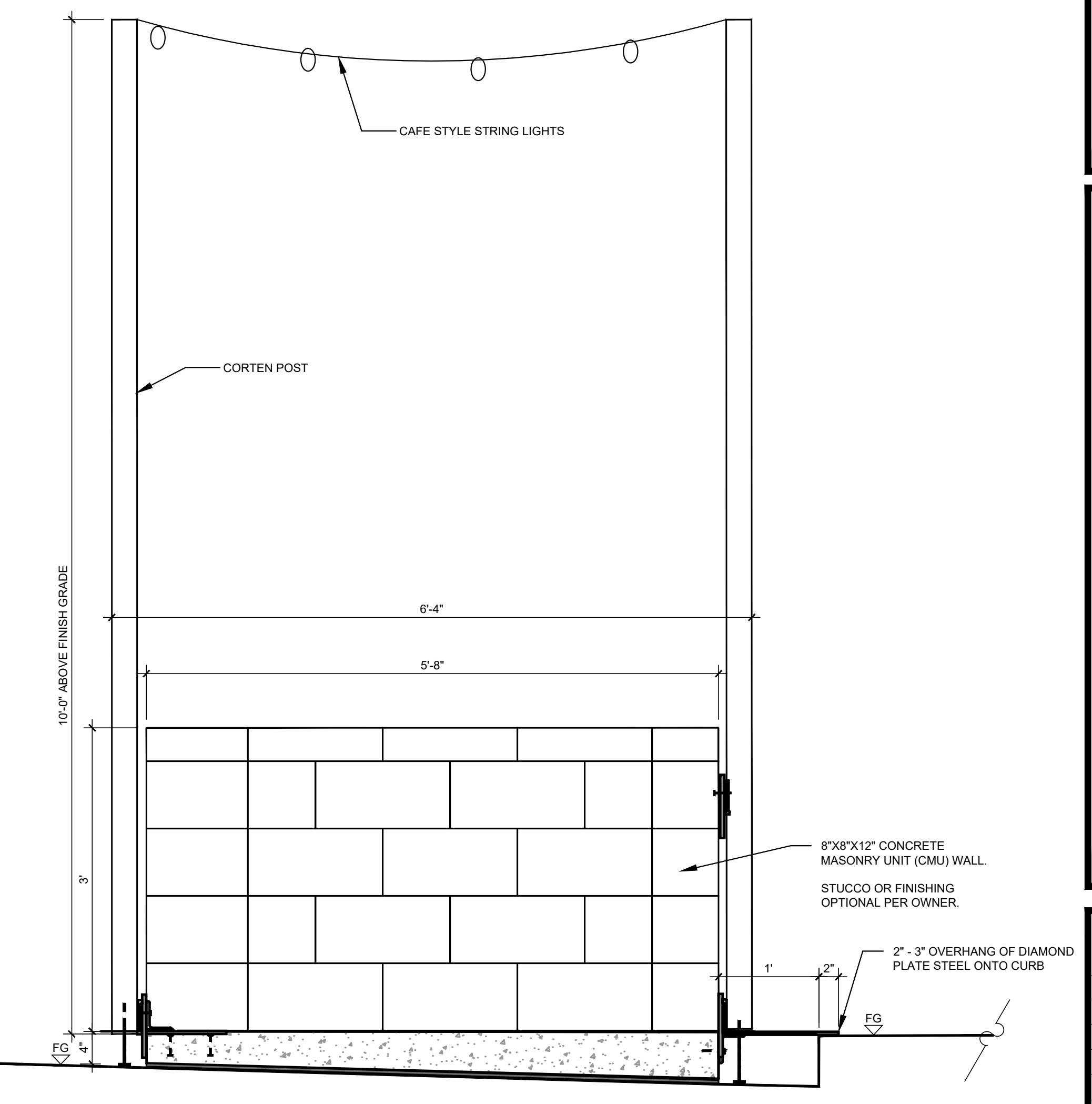
**L-3.0
CONSTRUCTION
DETAILS**



E REINFORCED CMU WALL WITH STUCCO FINISH
1" = 1'-0"
P-PA1-05

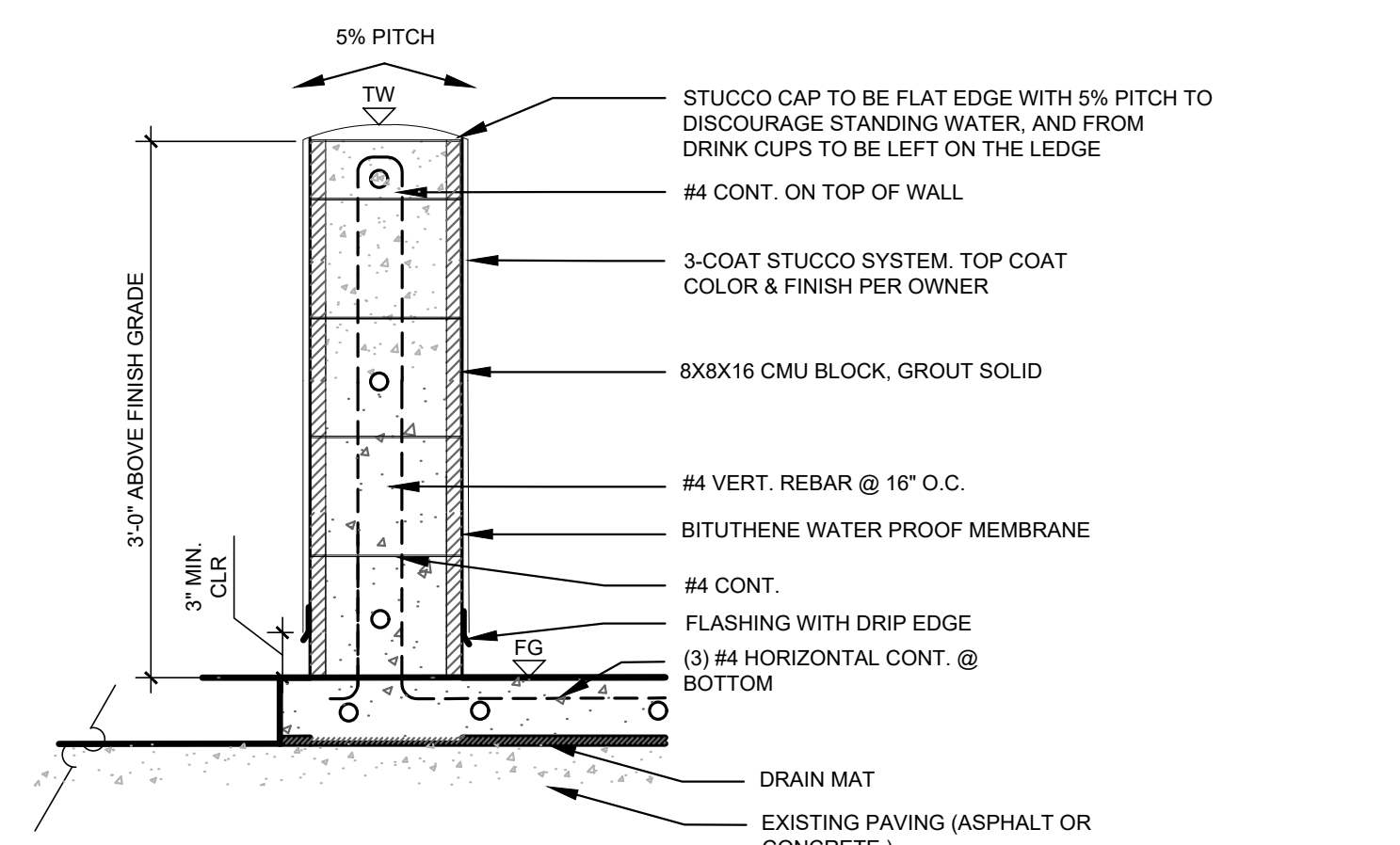


D CMU BLOCK WALL WITH WIND SCREEN
SCALE: 1" = 1'-0"

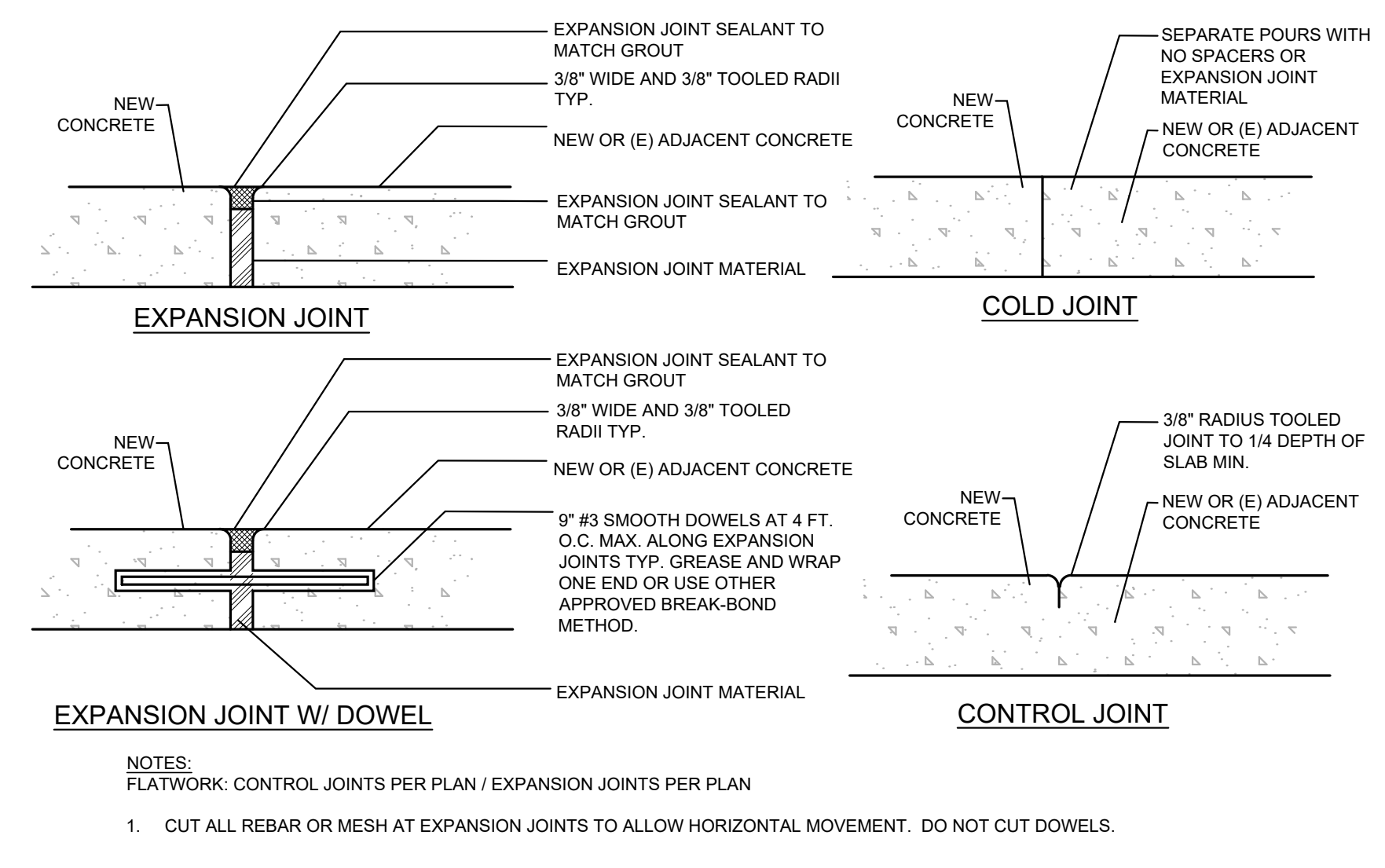


B CMU BLOCK WALL ON CONCRETE SLAB
SCALE: 1" = 1'-0"

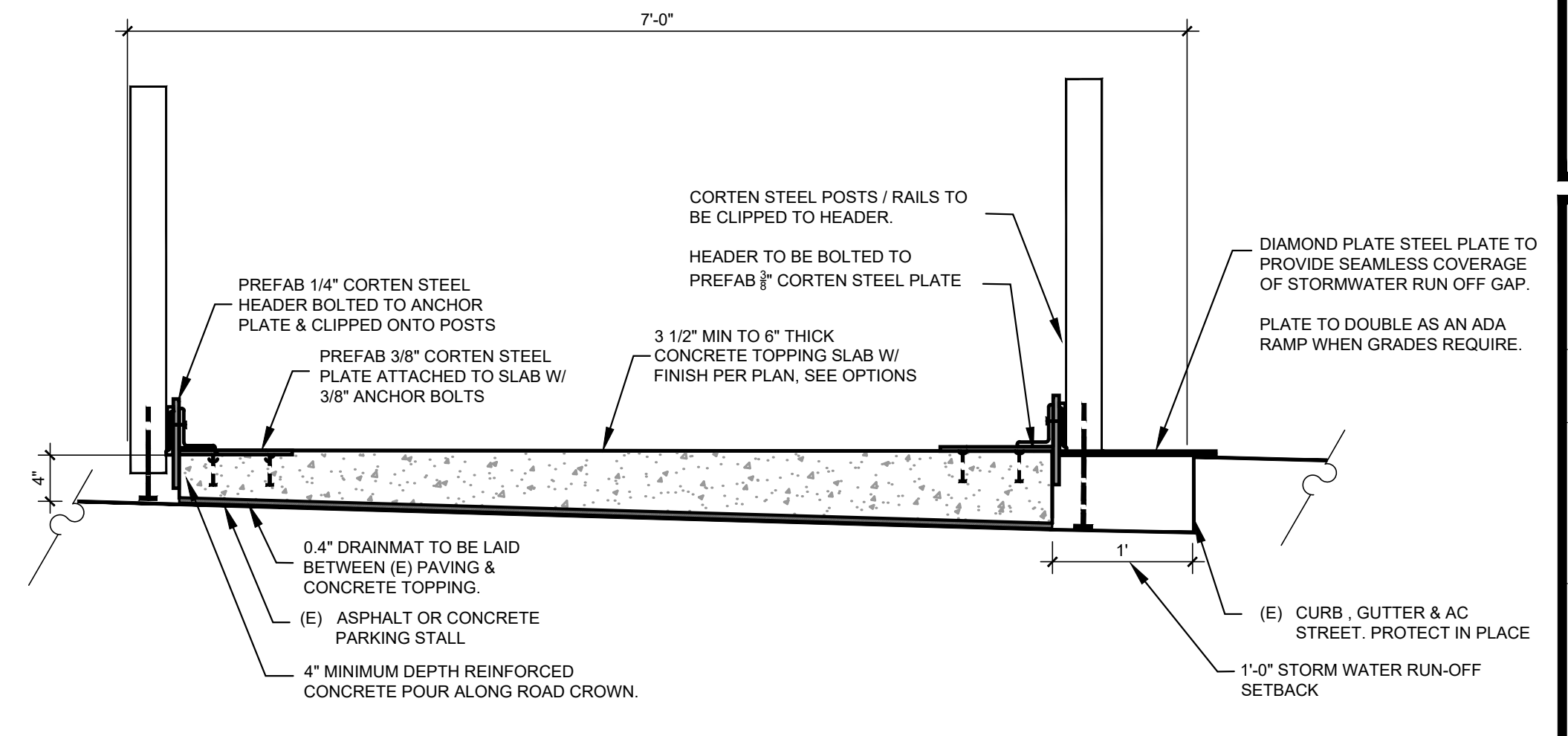
F REINFORCED CMU WALL WITH WIND SCREEN
SCALE: 1" = 1'-0"



E REINFORCED CMU WALL WITH STUCCO FINISH
1" = 1'-0"
P-PA1-05



C CONCRETE JOINTING
1" = 1'-0"
P-HA-09



A FENCE POST CONNECTION ON CONCRETE SLAB
1" = 1'-0"
P-PA1-01