

# 1130 & 1132 MISSION



189 WALNUT AVENUE  
SANTA CRUZ, CA 95060  
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## PLANNING PACKAGE

006-203-24 & 006-203-25 03/11/2024

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1130 & 1132 MISSION  
1130 & 1132 MISSION ST.  
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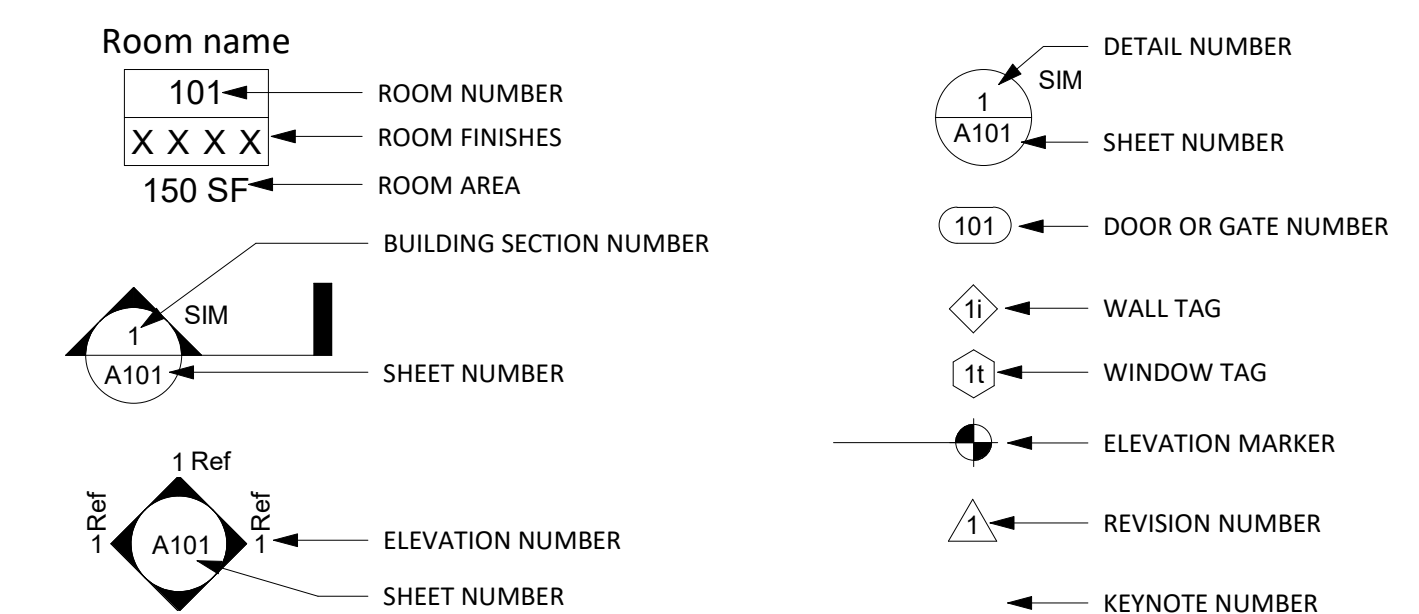
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### CODE INFORMATION

- 2022 CALIFORNIA BUILDING CODE
- 2022 CALIFORNIA RESIDENTIAL CODE
- 2022 CALIFORNIA ELECTRICAL CODE
- 2022 CALIFORNIA PLUMBING CODE
- 2022 CALIFORNIA MECHANICAL CODE
- 2022 CALIFORNIA FIRE CODE
- 2022 CALIFORNIA GREEN BUILDING STANDARDS
- 2022 CALIFORNIA ENERGY EFFICIENCY
- SANTA CRUZ COUNTY CODE AMENDMENTS

NATURAL GAS-FREE DESIGN AS  
REQUIRED BY SCMC 6.100, DESIGNED  
IN ACCORDANCE WITH CHAPTER  
6.100 OF THE MUNICIPAL CODE.

### GRAPHIC LEGEND



### ISSUES/ REVISIONS

Issue	DESCRIPTION	DATE
	SB330 PRE-APPLICATION	01.09.2023
0	PLANNING APPLICATION	06.01.2023
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2	PLANNING REV-02	01.04.2024
3	PLANNING REV-03	03.11.2024
4	PLANNING REV-04	04.19.2024
5	PLANNING REV-05	04.24.2024

APN number 006-203-25  
Project number 21128  
Print Date 01.09.2023  
Drawn by DS  
Checked by EB  
Scale NTS

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### COVER SHEET INDEX

GP0.01

**BUILDING GROSS AREA BY USE**

PROPOSED - GROSS BUILDING AREA								
LEVEL	RESIDENTIAL	CIRCULATION	PARKING	AMENITY	SERVICE / MECH.	COMMERCIAL	STORAGE	TOTALS
LEVEL 1	0 SF	433 SF	5,722 SF	522 SF	549 SF	2,627 SF	0 SF	9,853 SF
LEVEL 2	4,510 SF	1,868 SF	0 SF	1,767 SF	322 SF	0 SF	1,008 SF	9,475 SF
LEVEL 3	4,157 SF	1,591 SF	0 SF	838 SF	322 SF	0 SF	1,413 SF	8,321 SF
LEVEL 4	4,157 SF	1,592 SF	0 SF	838 SF	322 SF	0 SF	1,413 SF	8,322 SF
LEVEL 5	3,798 SF	1,542 SF	0 SF	213 SF	322 SF	0 SF	1,413 SF	7,288 SF
GRAND TOTALS	16,622 SF	7,026 SF	5,722 SF	4,178 SF	1,837 SF	2,627 SF	5,247 SF	43,259 SF

NON-RESIDENTIAL	
FLOOR AREA	COUNT
33,406 GSF	30
9,853 GSF	18
<b>TOTAL</b>	<b>48</b>

**PROJECT UNIT COUNT**

UNIT TYPE	COUNT
UNIT A	30
UNIT B	18
<b>TOTAL</b>	<b>48</b>

NOTE: REFER TO SHEET GP0.05 FOR DENSITY BONUS EXHIBIT AND CALCULATIONS  
REFER TO SHEET GP0.10 FOR NET UNIT AREA EXHIBIT

**PROJECT DATA**

<b>LOT 1 ADDRESS:</b>	1132 MISSION ST SANTA CRUZ, CA 95060 006-203-24 5,314.3 SF (0.122 ACRES)
<b>LOT 2 ADDRESS:</b>	1130 MISSION ST SANTA CRUZ, CA 95060 006-203-25 7,187.4 SF (0.165 ACRES)
<b>TOTAL LOT SIZE:</b>	12,501.7 SF (0.287 ACRES)
<b>ZONING DISTRICT:</b>	CC - COMMUNITY COMMERCIAL
<b>GENERAL PLAN DESIGNATION:</b>	MXMD - MIXED MEDIUM DENSITY
<b>BUILDING CONSTRUCTION TYPE:</b>	TYPE I-A: 9,853 SF TYPE III-A: 34,890 SF
<b>PROPOSED NUMBER OF STORIES:</b>	TYPE I-A: 1-STORY TYPE III-A: 4-STORIES
<b>BUILDING OCCUPANCIES:</b>	R-2 (RESIDENTIAL) S-2 (GARAGE) B (COMMERCIAL)
<b>EXISTING BUILDING 1 AREA:</b>	1,505 SF
<b>EXISTING BUILDING 2 AREA:</b>	738 SF
<b>TOTAL EXISTING BUILDING AREA:</b>	2,243 SF (TO BE DEMOLISHED)
<b>EXISTING LOT COVERAGE:</b>	2,243 SF/12,501 SF = 17.9%
<b>PROPOSED LOT COVERAGE:</b>	9,852 SF/12,501 SF = 78.8%
<b>FLOOR AREA RATIO (FAR) ALLOWED:</b>	1.75
<b>FLOOR AREA RATIO (FAR) PROPOSED:</b>	3.46 (WAIVER #3 SOUGHT PER STATE DENSITY BONUS)

**SCOPE OF WORK**

THE PROJECT WILL BE APPROXIMATELY 43,259 GROSS SQUARE FEET WITH 4 STORIES OF TYPE III-A OVER ONE STORY OF TYPE I-A NEW CONSTRUCTION. 47 UNITS OF SINGLE ROOM OCCUPANCY (SRO) HOUSING ARE PROPOSED ABOVE A 2,627 SF COMMERCIAL SPACE ON THE GROUND FLOOR. THE BUILDING IS 5 STORIES TALL IN TOTAL AND UTILIZES THE STATE DENSITY BONUS AS WELL AS SB-330 AND CA AB 2097. WAIVERS ARE REQUESTED FOR:

- BUILDING HEIGHT
- SETBACKS
- FLOOR AREA RATIO (FAR)

CONCESSIONS ARE REQUESTED FOR:

- IMPACT FEES TO BE PAID AT FINAL CERTIFICATE OF OCCUPANCY
- REMOVE REQUIREMENTS FOR CONSTRUCTION OF BUILDING FEATURES FOR POTENTIAL FUTURE USES NOT PROPOSED IN THE APPLICATION

THIS PROPOSAL SEEKS TO DEMOLISH THE EXISTING BUILDINGS AND BUILD NEW CONSTRUCTION. THE (2) EXISTING BUILDINGS CURRENTLY UNDERUTILIZE THE (2) SUBJECT PARCELS AND ARE NOTED AS HAVING A "LOW CONTRIBUTION TO URBAN QUALITY IN THE SANTA CRUZ MISSION STREET URBAN DESIGN PLAN". THERE ARE (2) SMALL EXISTING SINGLE STORY COMMERCIAL BUILDINGS OCCUPIED BY A SINGLE GROCER TENANT. THE EXISTING BUILDINGS TEND TO FLOOD, REQUIRE NEW ROOFS AND OTHER REPAIRS, AND IT IS EXPECTED THAT ONGOING MAINTENANCE OF THE BUILDINGS WILL BE COSTLY AND DISRUPTIVE TO THE SERVICE PROVIDED TO THE COMMUNITY.

THE PROPOSED NEW CONSTRUCTION PROVIDES PEDESTRIAN FRIENDLY COMMERCIAL SPACE ON THE GROUND FLOOR AS WELL AS AN APPROX. 5,722 SF PARKING GARAGE WITH ELECTRIC VEHICLE CHARGING STATIONS AND ACCESSIBLE PARKING.

THERE IS A LOBBY ENTRY SPACE FOR RESIDENTS WITH AMENITIES INCLUDING A MAIL/PACKAGE ROOM AND RENTAL OFFICE, AND THERE IS A LARGE OPEN AIR COURTYARD FOR RESIDENTIAL USE ON THE 2ND FLOOR ABOVE THE GROUND FLOOR PODIUM. OTHER AMENITIES LOCATED THROUGHOUT THE PROPOSED BUILDING INCLUDE ADDITIONAL BICYCLE PARKING ROOMS ON EACH STORY WITH LONG-TERM BICYCLE PARKING FOR EVERY UNIT (CLASS-I), AND RESIDENT STORAGE PER SANTA CRUZ SRO CODE REQUIREMENTS. AMENITIES PROVIDED FOR RESIDENTIAL TENANTS ON FLOORS 2-5 INCLUDE COMMON USE AREAS, LAUNDRY AREAS AND TRASH/RECYCLING/COMPOST FACILITIES.

LEVELS 2 THROUGH 5 HOST SRO UNITS ON EACH FLOOR WITH INDIVIDUAL KITCHENS AND FULL BATHROOMS. LEVEL 5 HOSTS SHARED BALCONY AMENITY SPACE.

AN APPROX. 2,627 SF COMMERCIAL SPACE IS PLANNED ALONG THE FRONTAGE OF MISSION STREET WITH AN ASSOCIATED COVERED OUTDOOR ENTRY AT THE CORNER OF MISSION AND LAUREL STREETS. SUPPORTING UTILITY SPACES FOR BOTH THE COMMERCIAL AND THE RESIDENTIAL SPACES ARE PROVIDED. PUBLIC BICYCLE PARKING (CLASS-II) IS INCLUDED ALONG LAUREL STREET.

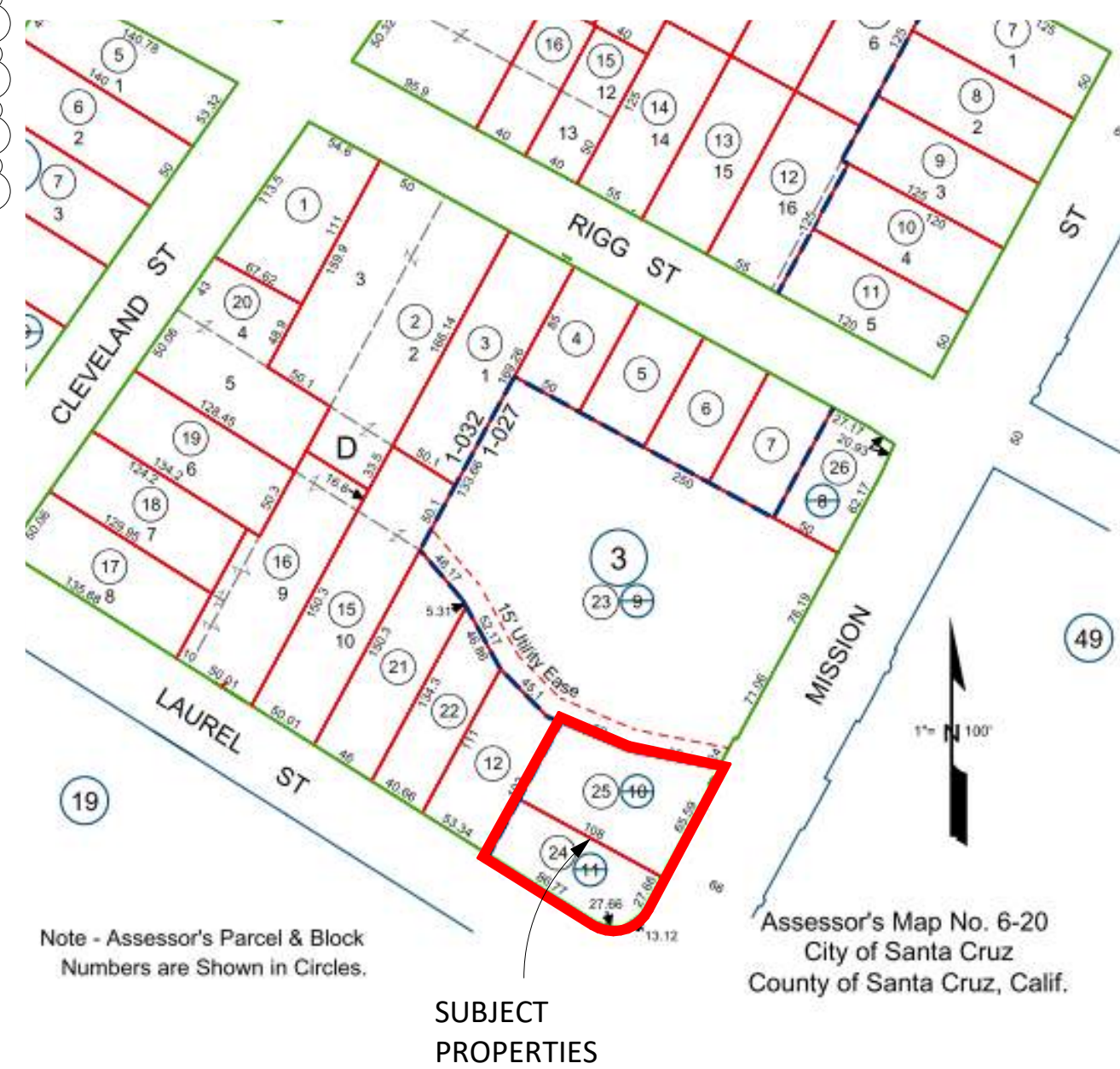
THE BUILDING'S MASSING ORIENTS THE RESIDENT COURTYARD TOWARDS LAUREL CREEK, PROVIDING GREEN VIEWS FOR RESIDENTS AND ACCOMMODATING REQUIRED CREEK DEVELOPMENT SETBACKS. SOME ROOF SPACE IS INTENDED FOR MECHANICAL EQUIPMENT AND SOLAR PHOTOVOLTAICS. SOME GREEN ROOF SPACE WILL BE PROVIDED AS WELL.

**PLANNING CODE NOTES**

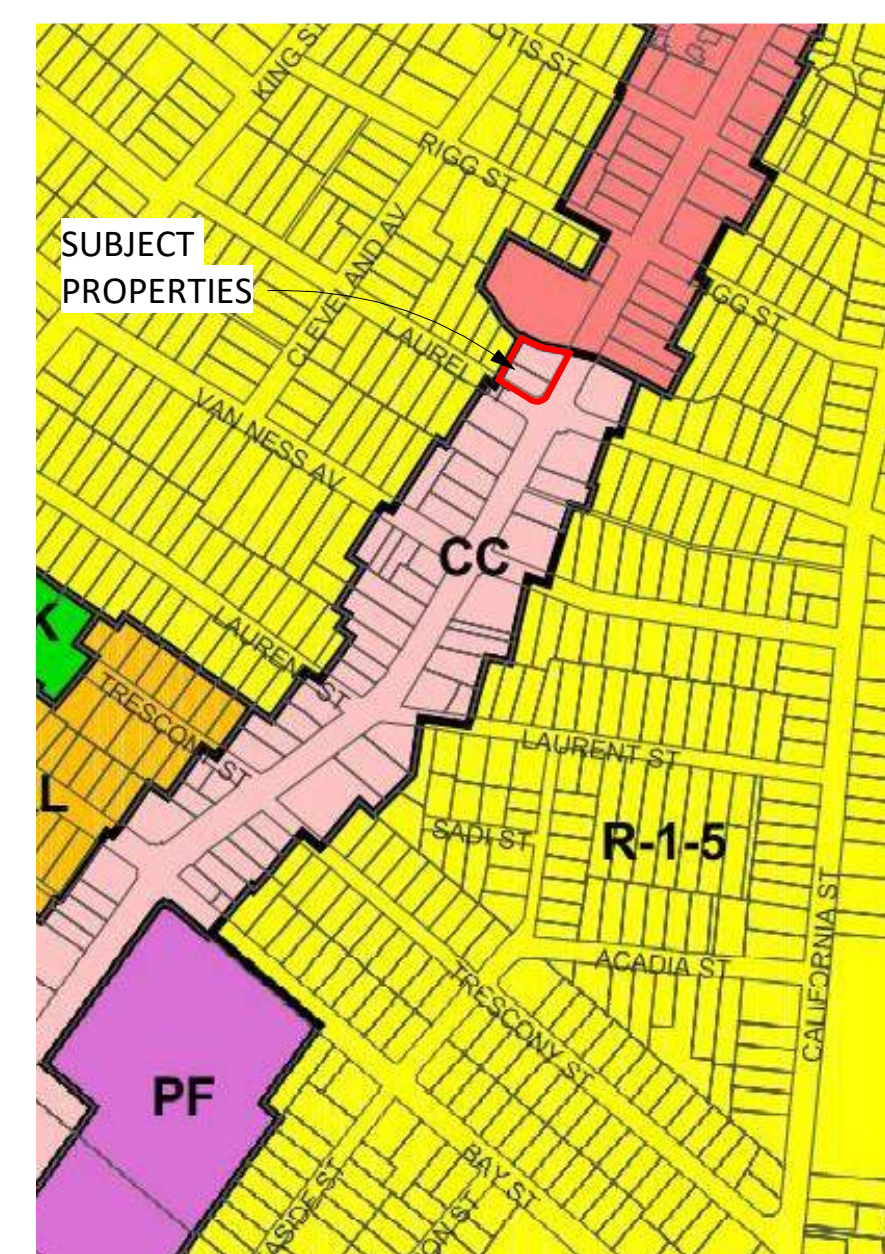
<b>BUILDING HEIGHT &amp; STORIES</b> SCMC 24.10.750	(WAIVER #1 SOUGHT PER STATE DENSITY BONUS) ALLOWABLE: 40' SCMC 24.10.750 ALLOWABLE: 3-STORIES PROPOSED: 5-STORIES	PROPOSED: 66' PROPOSED: 5-STORIES
<b>SETBACKS REQUIRED</b> SCMC 24.10.750	ALLOWABLE OVER LIMIT: PROPOSED: STAIRS - 12' ELEVATORS - 12' RAILINGS - NO RESTRICTION	
<b>SETBACKS PROVIDED</b>	FRONT YARD: 1'-9" (MISSION STREET) REAR YARD: 5'-8" (ADJACENT TO RESIDENTIAL ZONE, WAIVER SOUGHT) SIDE YARDS: 9'-8" (ADJACENT TO CREEK) & 3'-9" (LAUREL STREET) CREEK MANAGEMENT AREA: SEE BIOTIC REPORT, WAIVER SOUGHT CREEK DEVELOPMENT SETBACK: SEE BIOTIC REPORT, WAIVER SOUGHT CREEK RIPARIAN SETBACK: SEE BIOTIC REPORT, WAIVER SOUGHT	
<b>PARKING</b> SCMC 24.16.256 SCMC 24.12.240 CA AB 2097	<b>PARKING REQUIRED:</b> RESIDENTIAL: 24 SPACES (.5 SPACE PER UNIT) COMMERCIAL: 14 SPACES (RETAIL, SHOP, SERVICE 1 PER 250 SF OF FLOOR AREA) TOTAL: 38 SPACES AB 2097 PROHIBITS ANY MINIMUM AUTOMOBILE PARKING REQUIREMENT ON ANY RESIDENTIAL, COMMERCIAL, OR OTHER DEVELOPMENT PROJECT, AS DEFINED, THAT IS LOCATED WITHIN 1/2 MILE OF PUBLIC TRANSIT, AS DEFINED. REDUCTION OF ELECTRICAL VEHICLE CHARGING PARKING SPACES AND ACCESSIBLE PARKING SPACES IS PROHIBITED.	
SCMC 21.12.241	<b>EV PARKING REQUIRED:</b> RESIDENTIAL: 3 SPACES (12% OF 24 SPACES) COMMERCIAL: 1 SPACE (FOR 10-25 REQUIRED SPACES) TOTAL: 4 SPACES	
CGBSC 4.106.4.2	TOTAL: 4 SPACES (10% OF 38 SPACES)	
CBC 1109A.3 CBC 11B 208.2 CBC 11B-208.2.4 & CBC 1109A.8.6	<b>ACCESSIBLE PARKING REQUIRED:</b> RESIDENTIAL: 1 SPACE (2% OF 24 SPACES) COMMERCIAL: 1 SPACE (FOR 1-25 REQUIRED SPACES) VAN SPACES: 2 SPACES (1 PER 6 COMMERCIAL SPACES, 1 PER 8 RESIDENTIAL) TOTAL: 2 VAN ACCESSIBLE SPACES	
	<b>TOTAL PARKING PROVIDED:</b> 10 STANDARD SIZE EV PARKING SPACES 2 VAN ACCESSIBLE PARKING SPACES W/ EV CHARGING STATIONS	

<b>BICYCLE PARKING</b> 24.12.1030 (7) 24.12.250(2)(b) 24.12.250(2)(b)	<b>REQUIRED:</b> RESIDENTIAL: 48 SPACES (1 SPACE / UNIT) 48 CLASS-I SPACES (1 SPACE / UNIT) = 12 CLASS-II SPACES (1 SPACE / 4 UNITS)
24.12.250(2)(a) 24.12.250(2)(a)	<b>COMMERCIAL:</b> 1 CLASS-I SPACE (20% OF 2 + 15% OF CAR SPACES) = 20% (2 + (15% OF 14)) = 20% (2.1 = 3) = 0.6 = 1 3 CLASS-II SPACES (80% OF 2 + 15% OF CAR SPACES) = 80% (2 + (15% OF 14)) = 80% (2.1 = 3) = 2.4 = 3 TOTAL: 60 CLASS-I SPACES 18 CLASS-II SPACES
SEE PLANS	<b>PROVIDED:</b> 82 CLASS-I SPACES 32 CLASS-II SPACES
<b>RESIDENT STORAGE</b> 24.12.1030 (6)	<b>REQUIRED:</b> 48 STORAGE SPACES (1 SPACE / UNIT) <b>PROVIDED:</b> RESIDENTIAL: 48 RESIDENTIAL STORAGE LOCKERS (SEE PLANS)
<b>PERMITTED USE</b> MISSION STREET URBAN DESIGN PLAN	<b>REQUIRED:</b> NO GROUND FLOOR RESIDENTIAL USE, MOST APPROPRIATE USE FOR MISSION STREET C-C DISTRICTS INCLUDES GOODS/SERVICES, VISITOR-SERVING SERVICE DEPENDENT ON HIGHWAY VISIBILITY/FRONTAGE, COMPATIBLE W/ AN ATTRACTIVE, PEDESTRIAN-FRIENDLY COMMERCIAL DISTRICT, NOT PRIMARILY AUTO-ORIENTED. <b>PROVIDED:</b> PROJECT COMPLIES (SEE SHEET AP2.01)
<b>USABLE OPEN SPACE</b> SCMC 24.12.1030 (1)	<b>REQUIRED:</b> 480 SF (10 SF / UNIT AND NO LESS THAN 200 SF COMMON OUTDOOR AND 200 SF COMMON INDOOR OPEN SPACE) <b>PROVIDED:</b> 2,588 SF (SEE SHEET GP0.04 FOR OPEN SPACE EXHIBIT)
<b>ADDITIONAL SITE CONDITIONS</b>	POINT SOURCE AIR/WATER POLLUTANTS: NO, NONE EXISTING AND NO PROPOSED POINT SOURCE AIR/WATER POLLUTANTS VERY HIGH FIRE SEVERITY ZONE: NO, PER CAL FIRE 2022 FIRE HAZARD SEVERITY ZONE MAP HISTORIC ARCHAEOLOGY SENSITIVITY: NO, NO KNOWN HISTORIC AND/OR HISTORIC RESOURCES SENSITIVE HABITAT (WETLANDS): NO, PER U.S. FISH AND WILDLIFE NATIONAL WETLANDS SURVEY HAZARDOUS WASTE SITE: NO, PER DTSC HAZARDOUS WASTE SITE LIST

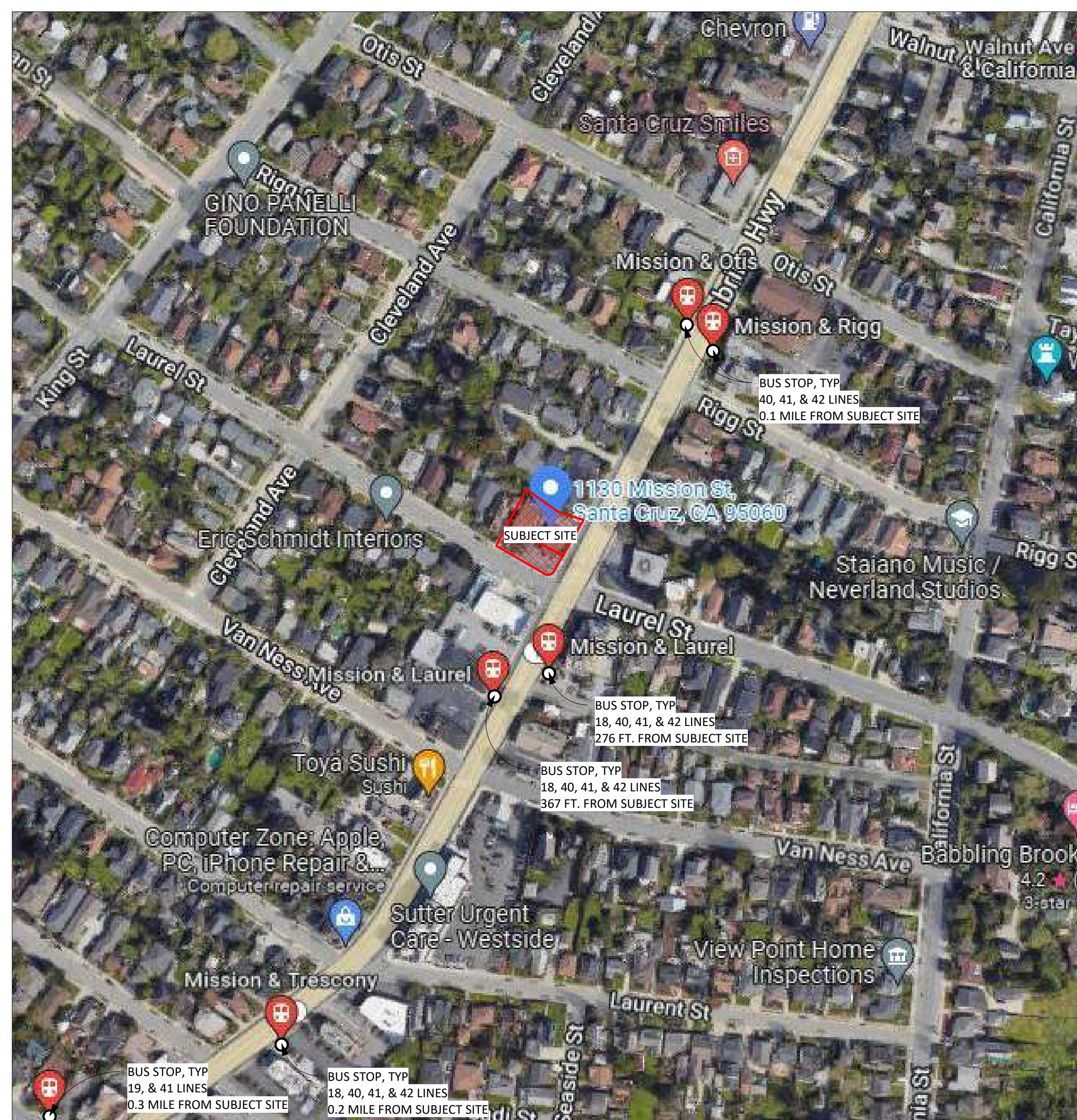
**ASSESSORS MAP**



**ZONING MAP**



**CONTEXT & MOBILITY**



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**SANTA CRUZ, CA 95060**

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Issue	DESCRIPTION	DATE
0	SB330 PRE-APPLICATION	01.09.2023
1	PLANNING APPLICATION	06.01.2023
2	PLANNING REV-01	08.25.2023
3	PLANNING REV-02	01.04.2024
4	PLANNING REV-03	03.11.2024
5	PLANNING REV-05	04.24.2024

APN number	006-203-25
Project number	21128
Print Date	01.09.2023
Drawn by	DS
Checked by	EB
Scale	NTS

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**PROJECT INFO**

**GP0.02**



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ISSUES/ REVISIONS

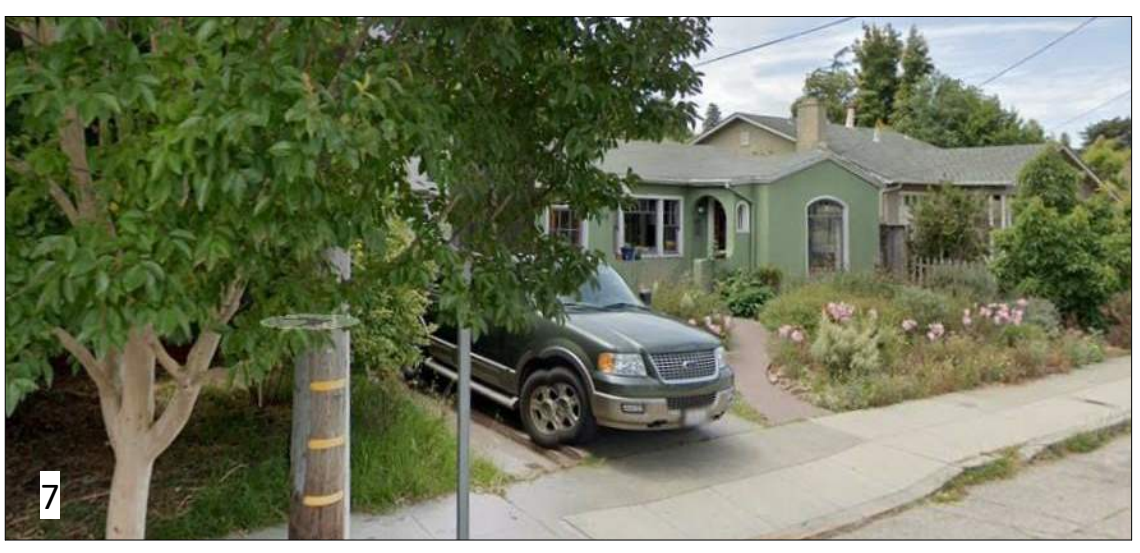
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EXISTING SITE PHOTOS

**GP0.03**





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OPEN SPACE EXHIBIT  
**GP0.04**

**CITY OF SANTA CRUZ SHARED OPEN SPACE REQUIREMENTS**  
SCMC 21.12.1030 (1)

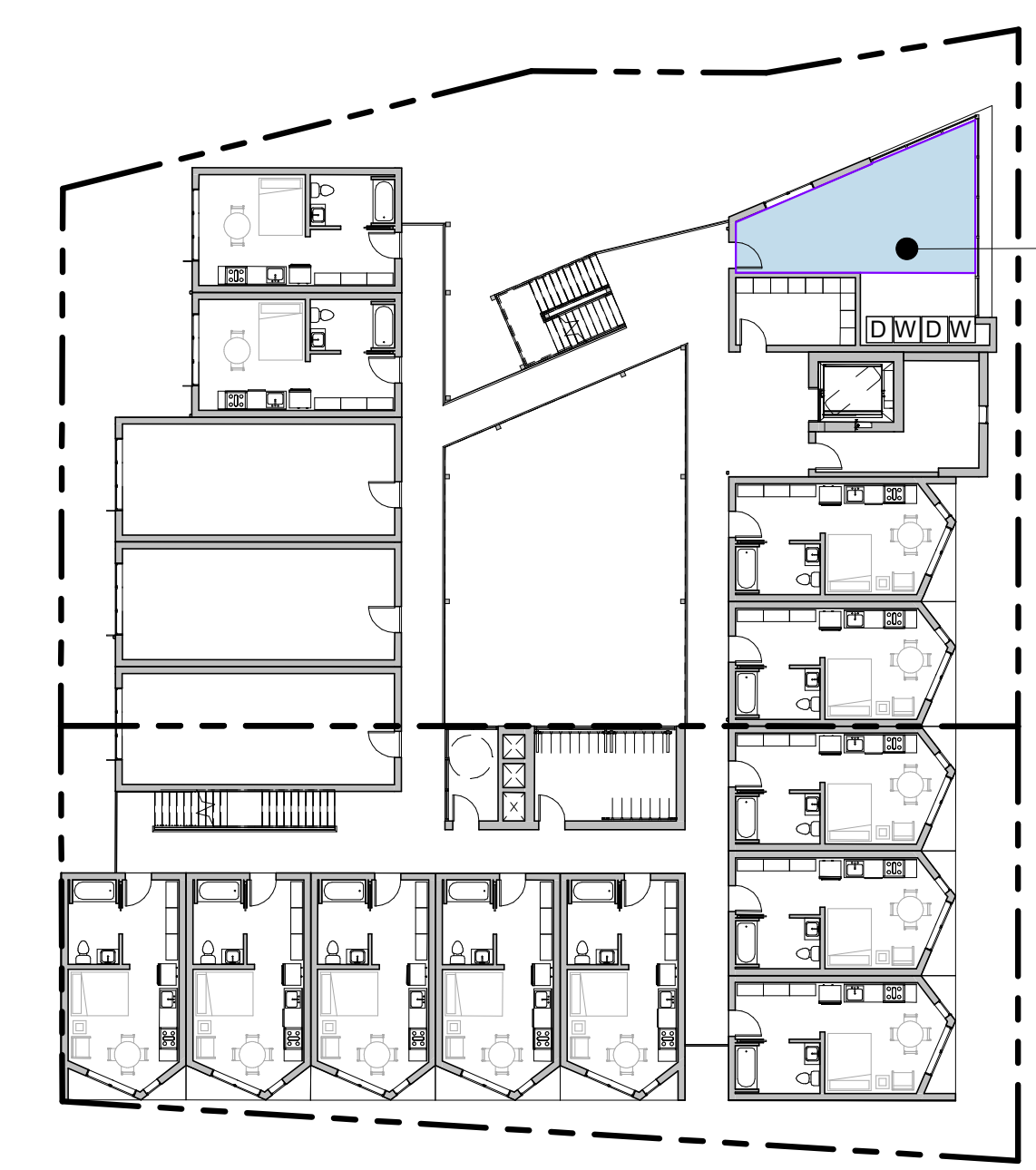
TOTAL UNIT COUNT:	48 UNITS
SHARED USABLE OPEN SPACE REQ'D: <small>(10 GSF / UNIT)</small>	480 GSF
A MINIMUM OF 200 SF OF COMMON OUTDOOR OPEN SPACE AND 200 SF OF COMMON INDOOR SPACE IS REQUIRED	
COMMON OUTDOOR OPEN SPACE PROVIDED:	1,691 SF
COMMON INDOOR OPEN SPACE PROVIDED:	992 SF

**USABLE OPEN SPACE PROVIDED**

LEVEL	COMMON OUTDOOR OPEN SPACE	COMMON INDOOR OPEN SPACE	TOTALS
LEVEL 1	0 SF	0 SF	232 SF
LEVEL 2	1,039 SF	369 SF	1,408 SF
LEVEL 3	0 SF	300 SF	300 SF
LEVEL 4	0 SF	322 SF	322 SF
LEVEL 5	652 SF	0 SF	652 SF
GRAND TOTALS	1,691 SF	992 SF	2,915 SF

**OPEN SPACE LEGEND**

- COMMON OUTDOOR OPEN SPACE
- COMMON INDOOR OPEN SPACE



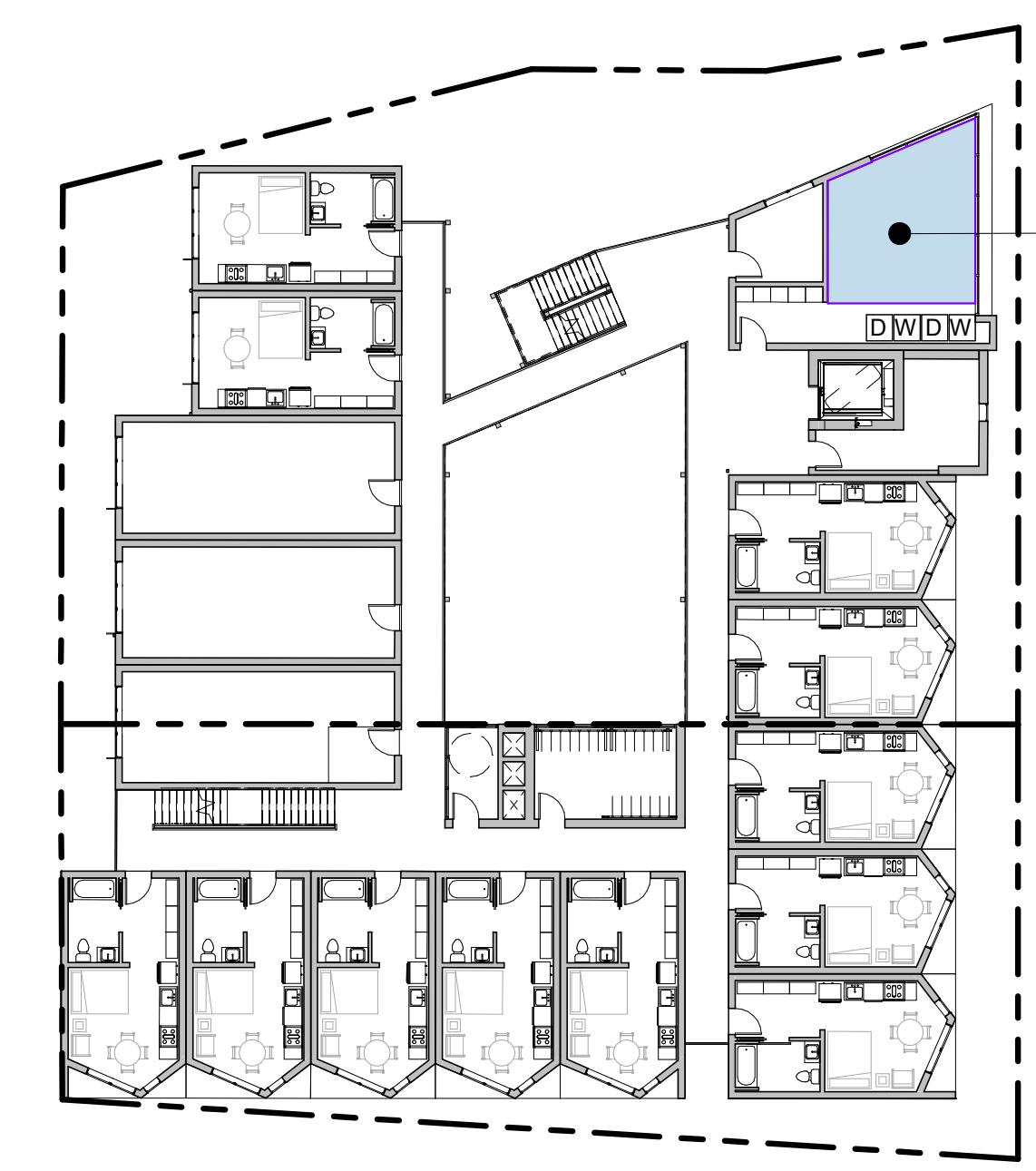
④ OPEN SPACE DIAGRAM - LEVEL 4  
1" = 20'-0"



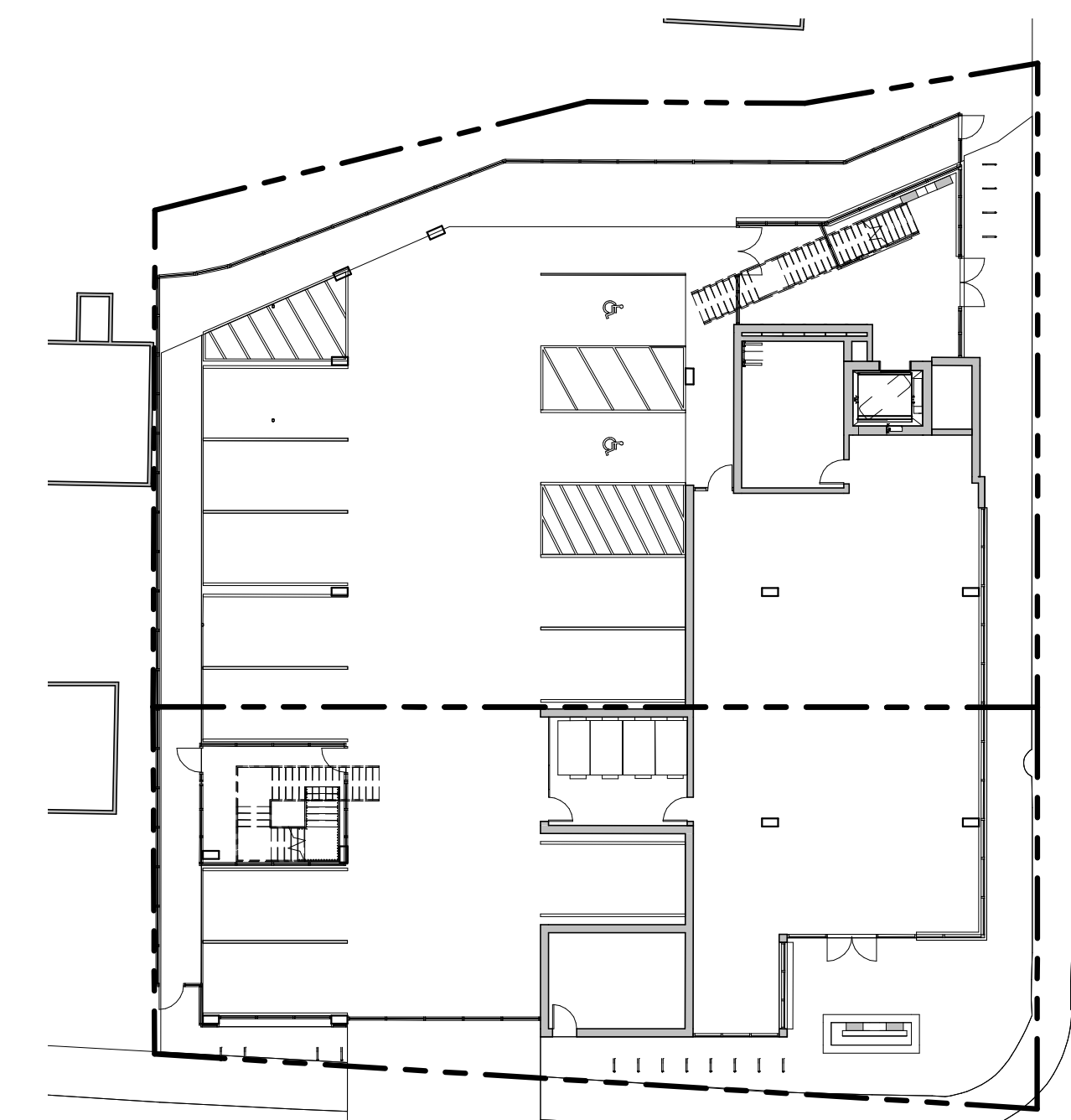
② OPEN SPACE DIAGRAM - LEVEL 2  
1" = 20'-0"



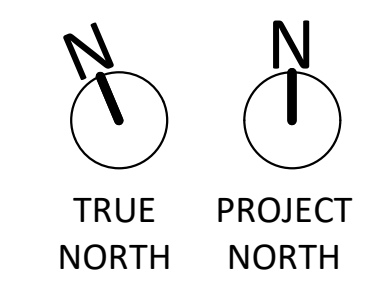
⑤ OPEN SPACE DIAGRAM - LEVEL 5  
1" = 20'-0"



③ OPEN SPACE DIAGRAM - LEVEL 3  
1" = 20'-0"



① OPEN SPACE DIAGRAM - LEVEL 1  
1" = 20'-0"





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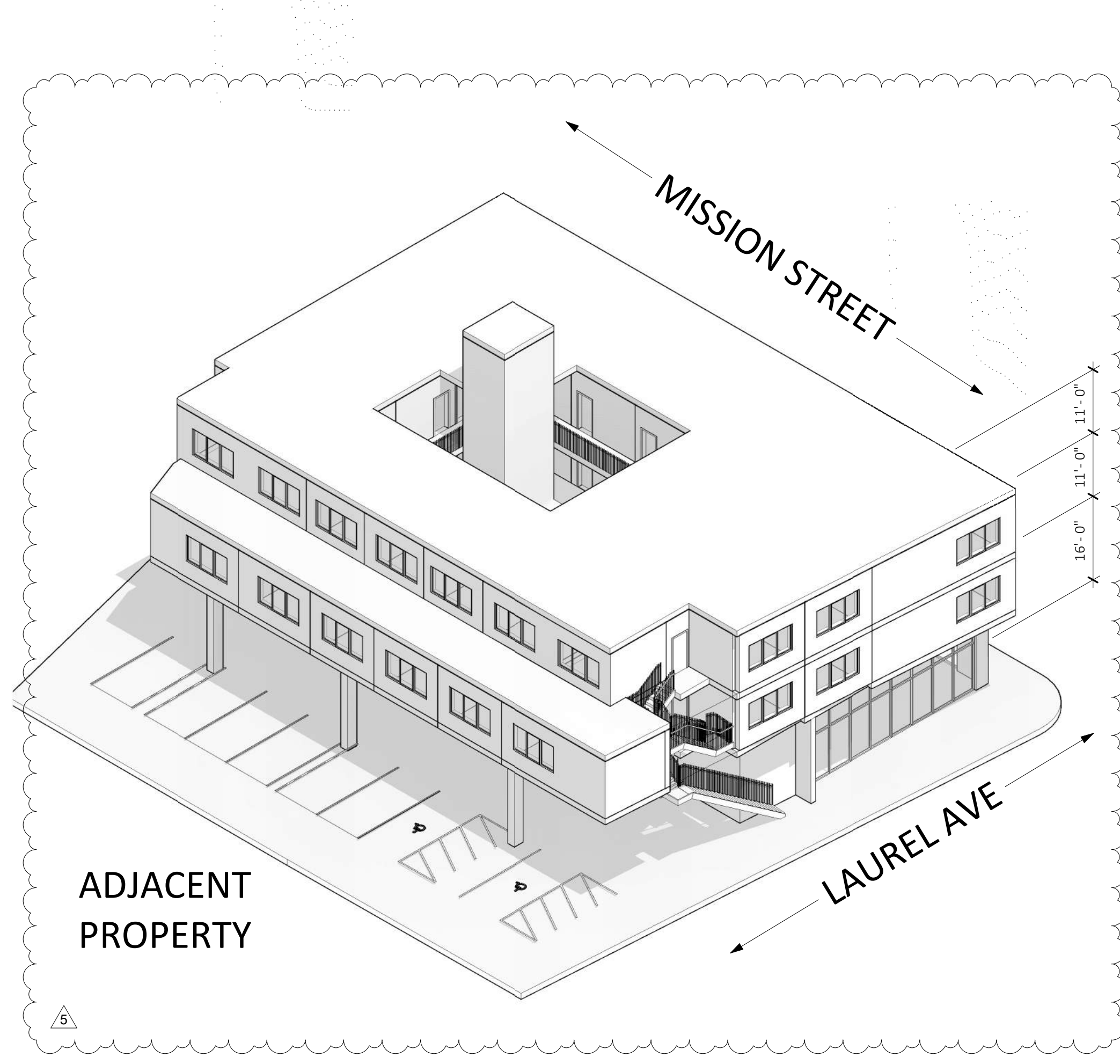
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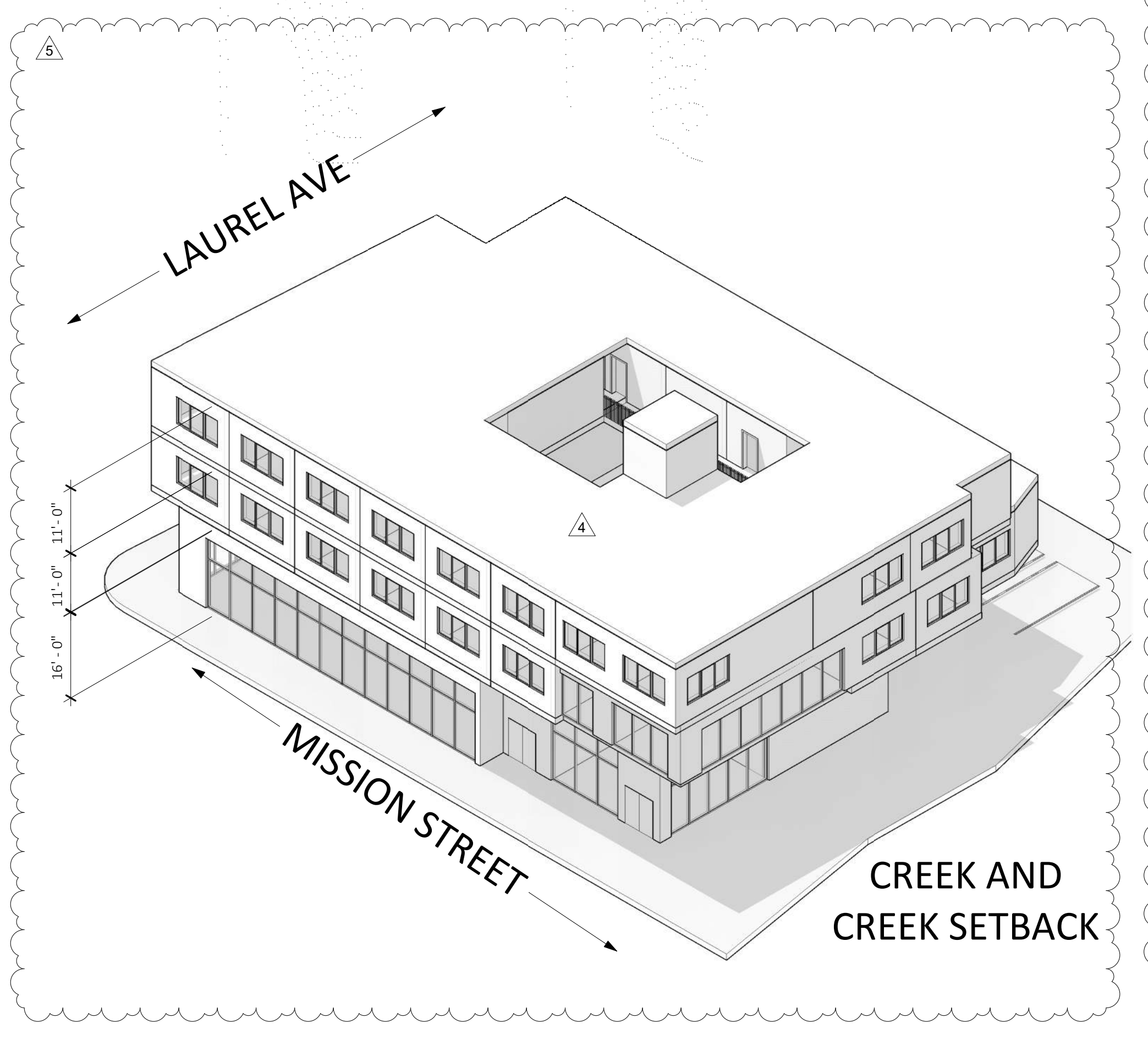
3 BASE DENSITY - 3D VIEW 1



2 BASE DENSITY - LEVEL 2  
1/16" = 1'-0"



5 BASE DENSITY - LEVEL 3  
1/16" = 1'-0"



4 BASE DENSITY - 3D VIEW 2



1 BASE DENSITY - LEVEL 1  
1/16" = 1'-0"

**DENSITY BONUS UNIT CALCULATIONS**

**BASE DENSITY UNIT CALCULATIONS PER 24.16.255 (6):**  
FOR THE PURPOSES OF CALCULATING THE NUMBER OF DENSITY BONUS UNITS IN AREAS WHERE A MAXIMUM DENSITY RANGE IS NOT PROVIDED IN THE ZONE DISTRICT OR GENERAL PLAN, AN IMPLICIT RESIDENTIAL DENSITY SHALL BE CALCULATED BASED ON A PROJECT PUT FORWARD BY THE APPLICANT THAT MEETS ALL APPLICABLE DEVELOPMENT STANDARDS. OBJECTIVE DEVELOPMENT STANDARDS SUCH AS SETBACKS, FLOOR AREA RATIO, AND HEIGHT LIMITATIONS, WHILE NOT DEFINING THE MAXIMUM DENSITY RANGE PER SE, CAN BE UTILIZED TO DETERMINE THE IMPLICIT RESIDENTIAL DENSITY ALLOWED. IN THIS APPROACH, A PROJECT DEFINES THE APPLICABLE RESIDENTIAL DENSITY FOR ITSELF BASED ON MEETING APPLICABLE DEVELOPMENT STANDARDS. THE AVERAGE SIZE OF THE UNITS PRESENTED IN THE BASE DENSITY PROJECT MUST BE EQUAL TO OR GREATER THAN THE AVERAGE SIZE OF THE UNITS PRESENTED IN THE DENSITY BONUS PROJECT.

**BASE DENSITY UNITS MODELED PER OBJECTIVE STANDARDS:**

16 UNITS ON LEVEL 2  
+ 17 UNITS ON LEVEL 3  
= 33 BASE DENSITY UNITS

COMMON INDOOR AMENITY SPACE PROVIDED SCMC 24.12.1030(1) (BASE DENSITY): 543 GSF (200 GSF REQUIRED, SEE GP0.09)  
RESIDENT STORAGE SPACES PROVIDED 24.12.1030(6) (BASE DENSITY): 33 SPACES PROVIDED (33 REQUIRED)  
BICYCLE PARKING SPACES PROVIDED (BASE DENSITY): 52 SPACES PROVIDED (33 REQUIRED)  
COMMON OUTDOOR SPACE PROVIDED 24.12.1030(1) (BASE DENSITY): 854 GSF (330 GSF REQUIRED, SEE GP0.09)

**BONUS DENSITY UNITS CALCULATED:**

33 BASE DENSITY UNITS  
x 50% BONUS DENSITY = 17 BONUS DENSITY UNITS  
PER AB2345 (ENHANCED DENSITY BONUS)

**TOTAL ALLOWED UNITS:**

33 BASE DENSITY UNITS  
+ 17 DENSITY BONUS UNITS = 50 ALLOWED UNITS

**LOT AREA PER SURVEY:**

1130 MISSION: 7,187.4 SF (0.165 ACRES)  
1132 MISSION: 5,314.3 SF (0.122 ACRES)  
**TOTAL: 12,501.7 SF (0.287 ACRES)**

**ALLOWED FAR: 1.75**  
**ALLOWED AREA: 21,877.98 GSF**

**BASE DENSITY**  
**AVG UNIT AREA: 354.6 GSF PER UNIT (SEE GP0.09)**

BASE DENSITY - GROSS BUILDING AREA							
LEVEL	RESIDENTIAL	CIRCULATION	PARKING	AMENITY	SERVICE / MECH.	COMMERCIAL	TOTALS
LEVEL 1	0 SF	455 SF	0 SF	1,086 SF	682 SF	3,073 SF	5,295 SF
LEVEL 2	5,784 SF	1,173 SF	0 SF	1,887 SF	96 SF	0 SF	8,939 SF
LEVEL 3	5,918 SF	1,138 SF	0 SF	253 SF	0 SF	0 SF	7,310 SF
<b>GRAND TOTALS</b>	<b>11,702 SF</b>	<b>2,766 SF</b>	<b>0 SF</b>	<b>3,226 SF</b>	<b>778 SF</b>	<b>3,073 SF</b>	<b>21,544 SF</b>

**PROPOSED BASE DENSITY FAR: 1.72**

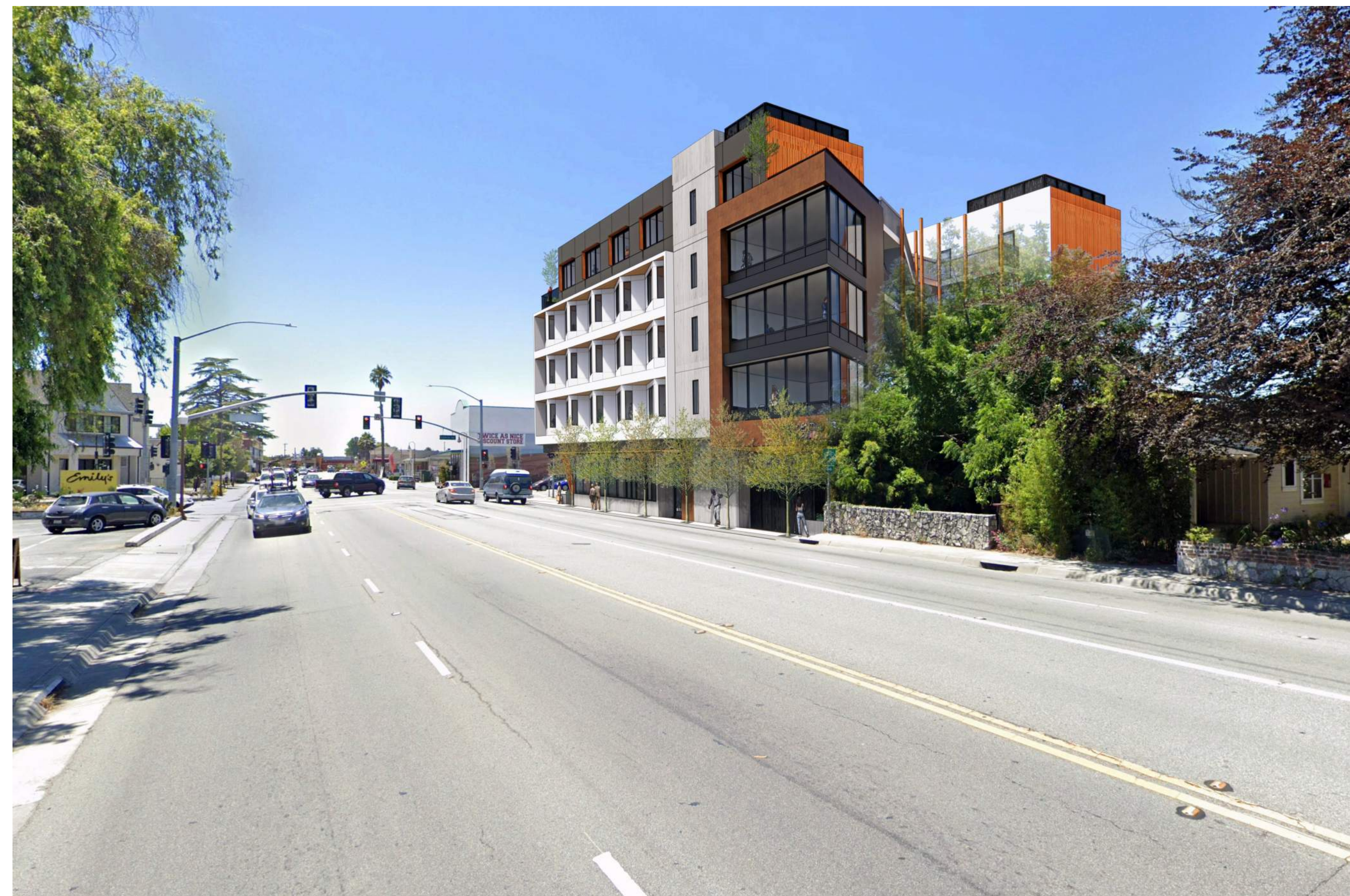
**SEE AP SHEETS FOR PROPOSED BUILDING**



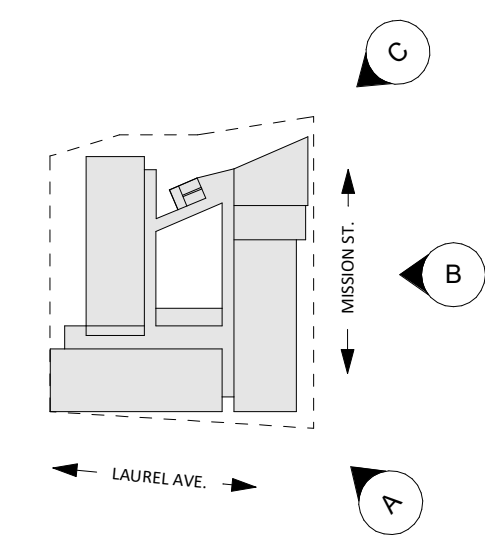
A: CORNER VIEW AT INTERSECTION OF MISSION ST. AND LAUREL AVE.



B: MISSION STREET ELEVATION VIEW



C: MISSION STREET CORNER VIEW FROM CREEK SIDE



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ISSUES/ REVISIONS

Issue	DESCRIPTION	DATE
0	SB330 PRE-APPLICATION	01.09.2023
1	PLANNING REV-01	06.01.2023
2	PLANNING REV-02	08.25.2023
3	PLANNING REV-03	01.04.2024
		03.11.2024

APN number	006-203-25
Project number	21128
Print Date	01.09.2023
Drawn by	OH
Checked by	EB
Scale	NTS

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RENDERINGS AND 3D EXHIBITS

**GP0.07**



workbench

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ISSUES/ REVISIONS

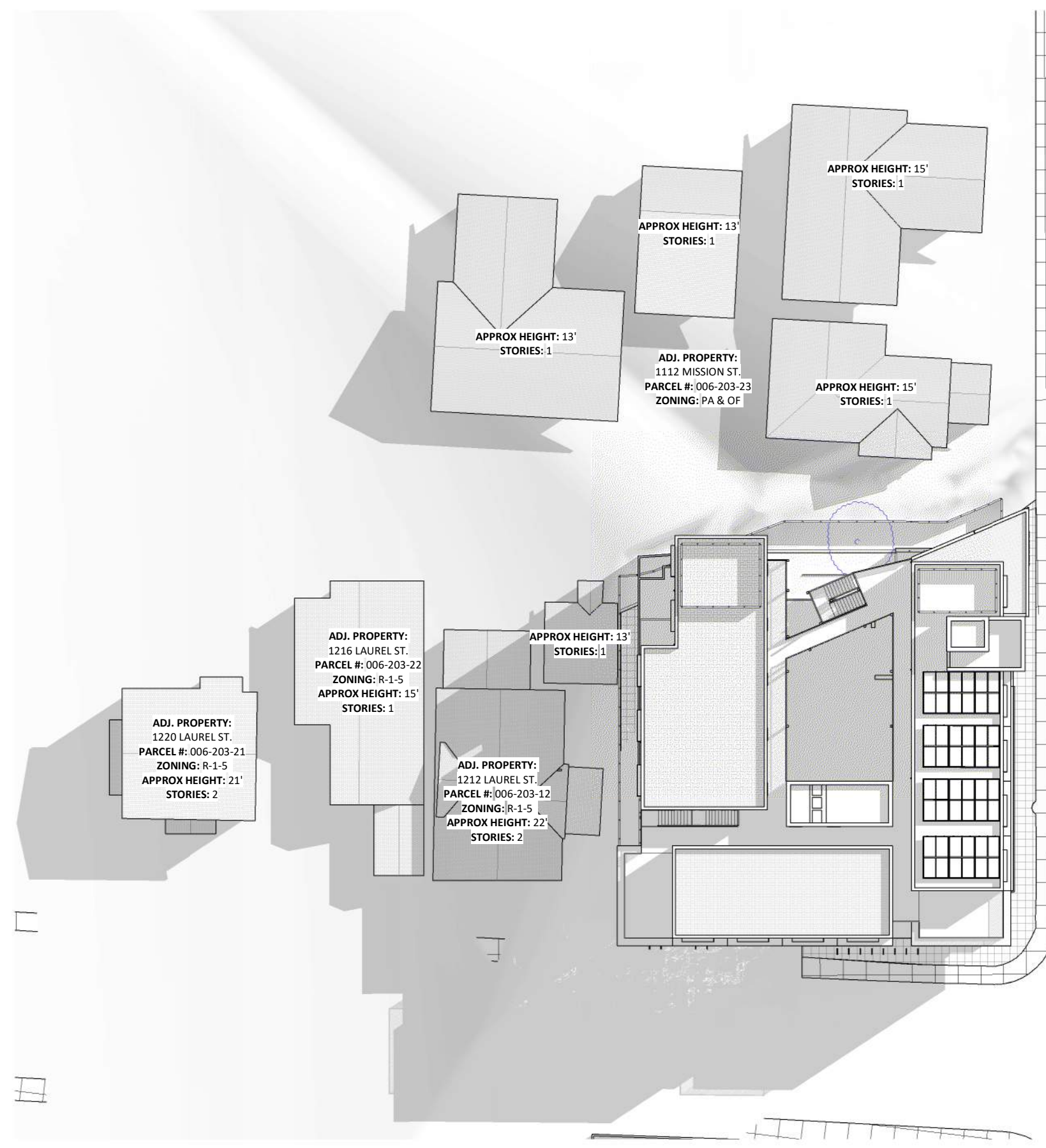
Issue	DESCRIPTION	DATE
0	PLANNING APPLICATION	06.01.2023
1	PLANNING REV-01	08.25.2023
2	PLANNING REV-02	01.04.2024
3	PLANNING REV-03	03.11.2024

APN number	006-203-25
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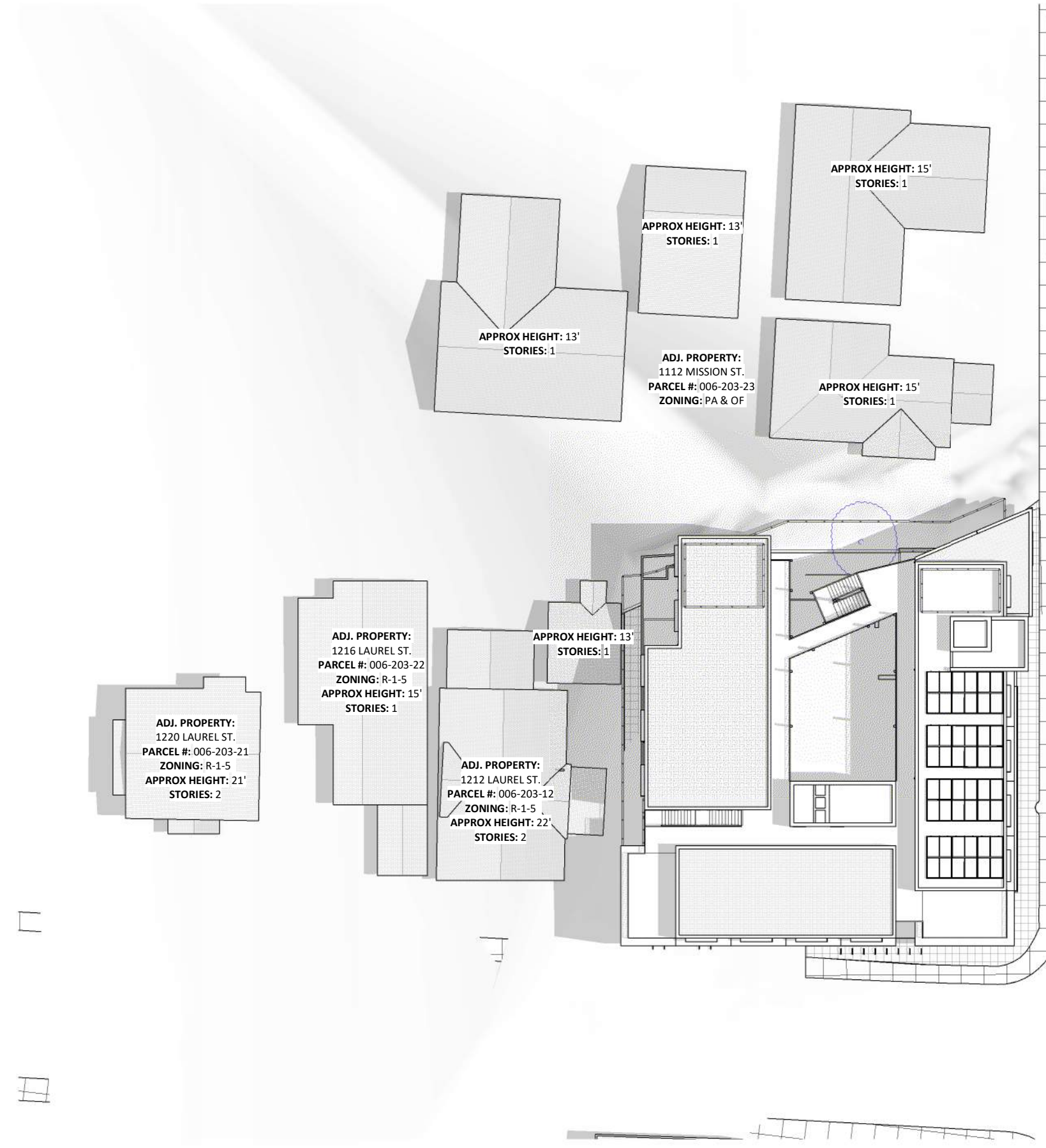
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SHADOW STUDY

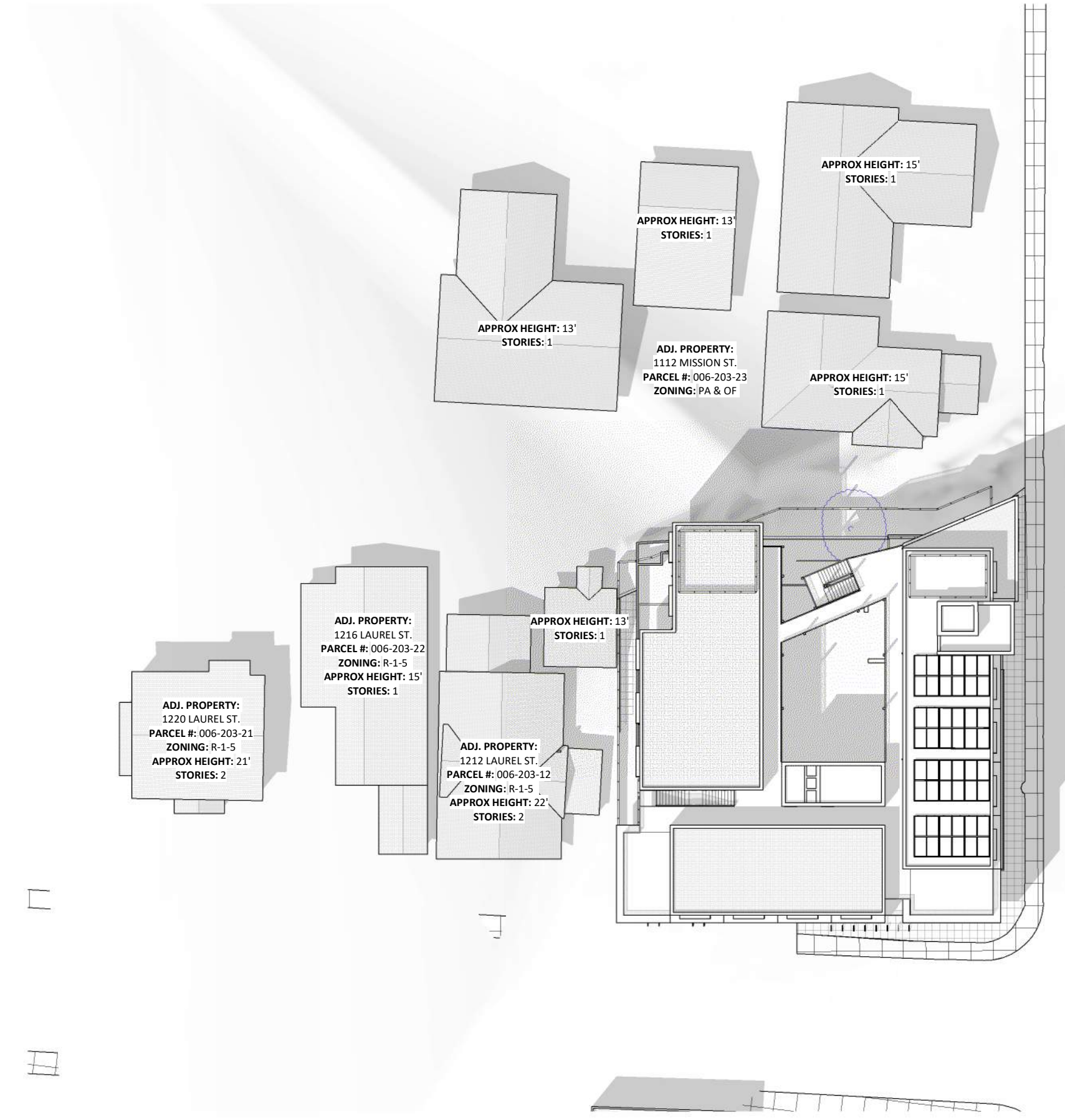
**GP0.08**



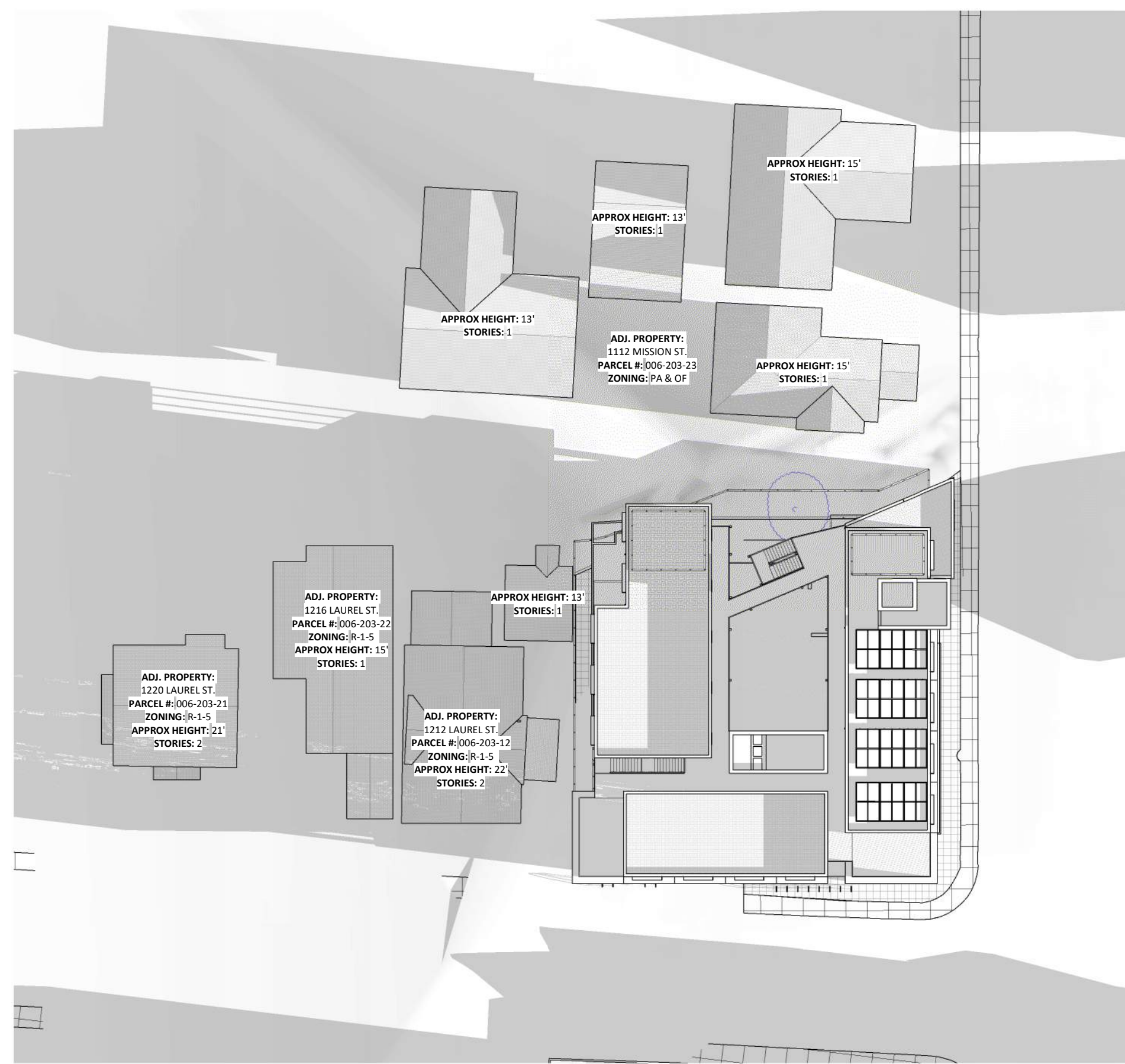
1 SOLAR STUDY - JUNE 21 - 9AM



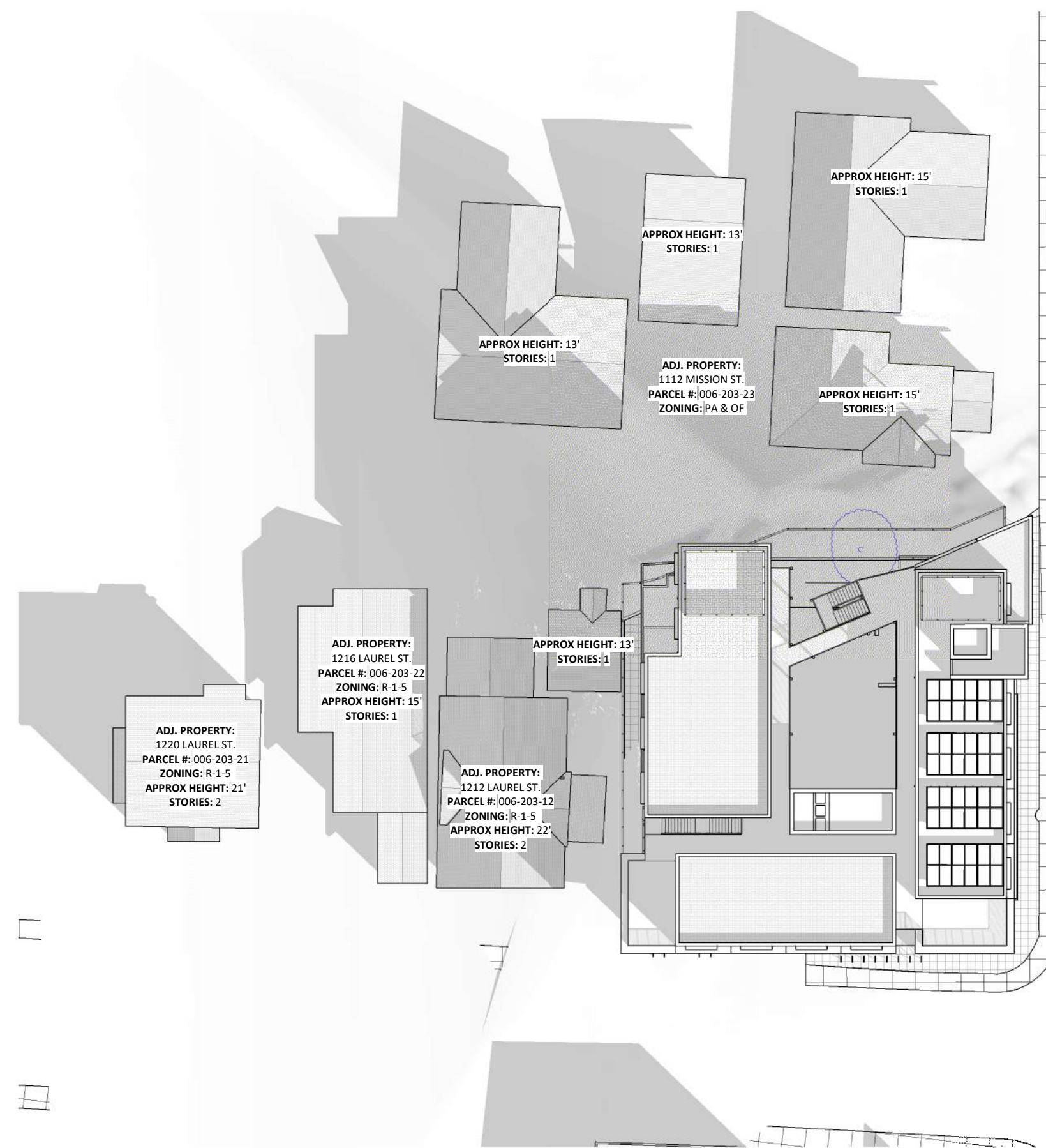
2 SOLAR STUDY - JUNE 21 - 12PM



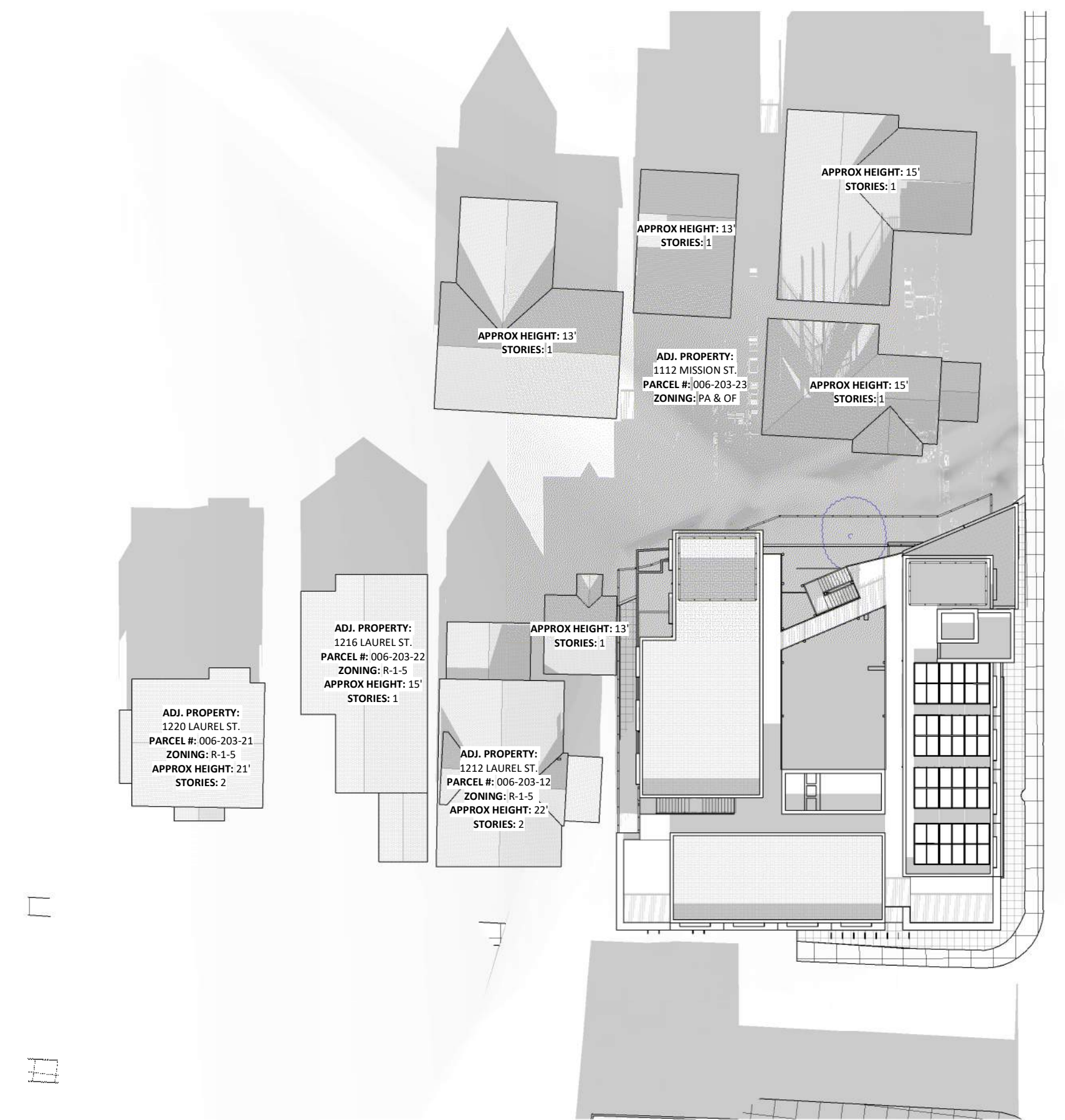
3 SOLAR STUDY - JUNE 21 - 3PM



4 SOLAR STUDY - DEC 21 - 9AM

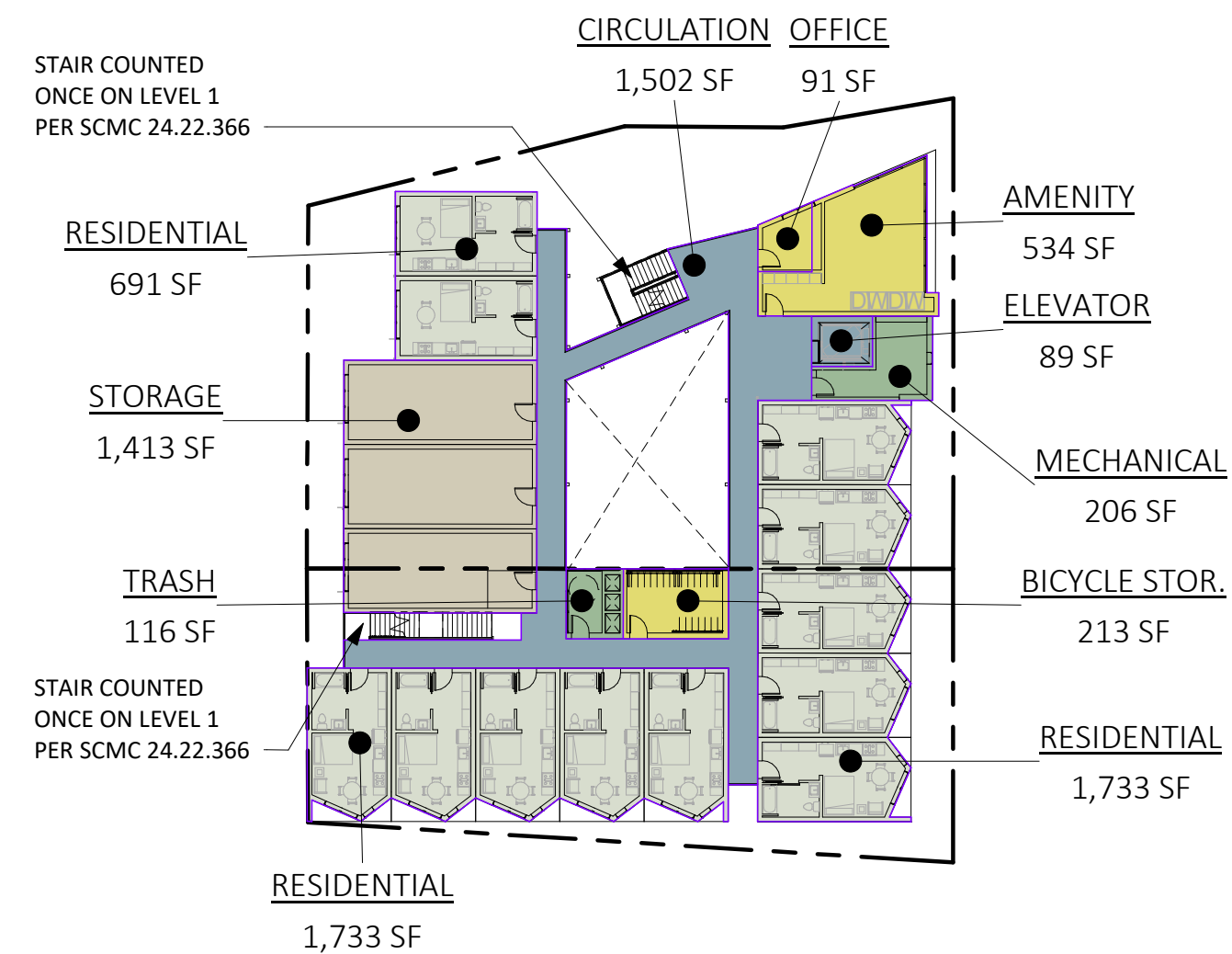


5 SOLAR STUDY - DEC 21 - 12PM



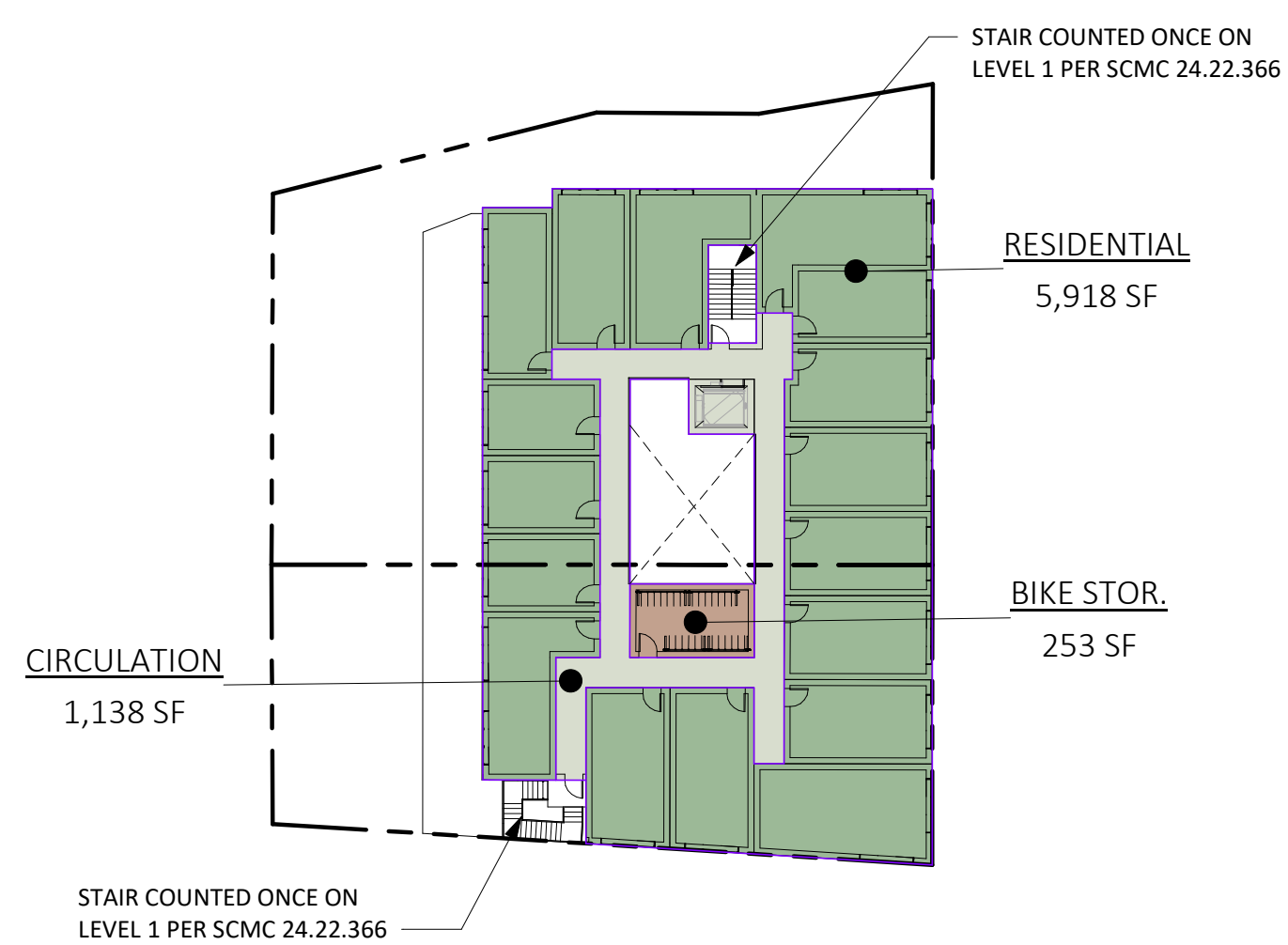
6 SOLAR STUDY - DEC 21 - 3PM

**PROPOSED GROSS BUILDING AREA PLANS**

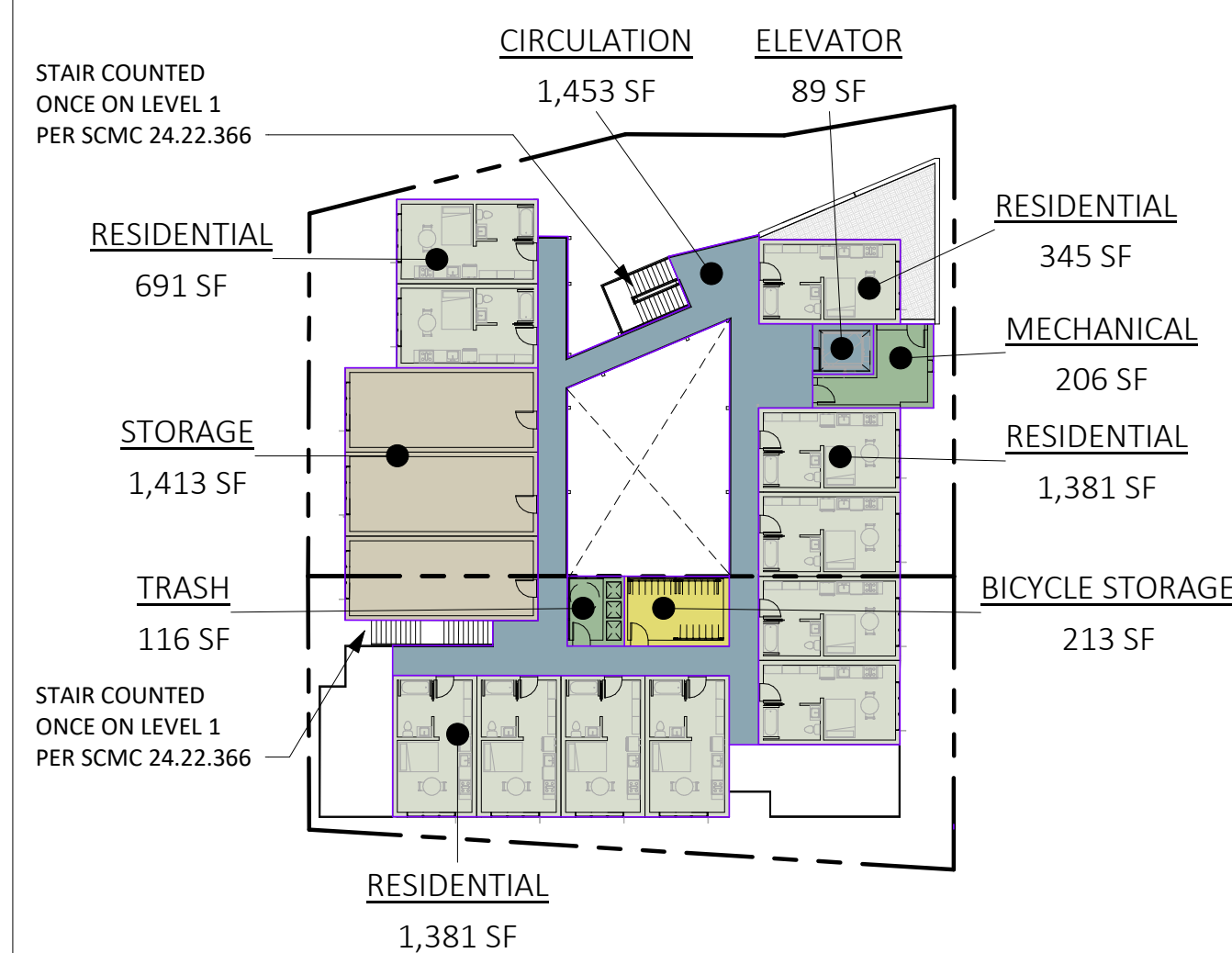


⑥ PROPOSED - GROSS BUILDING AREA - LEVEL 3  
1" = 30'-0"

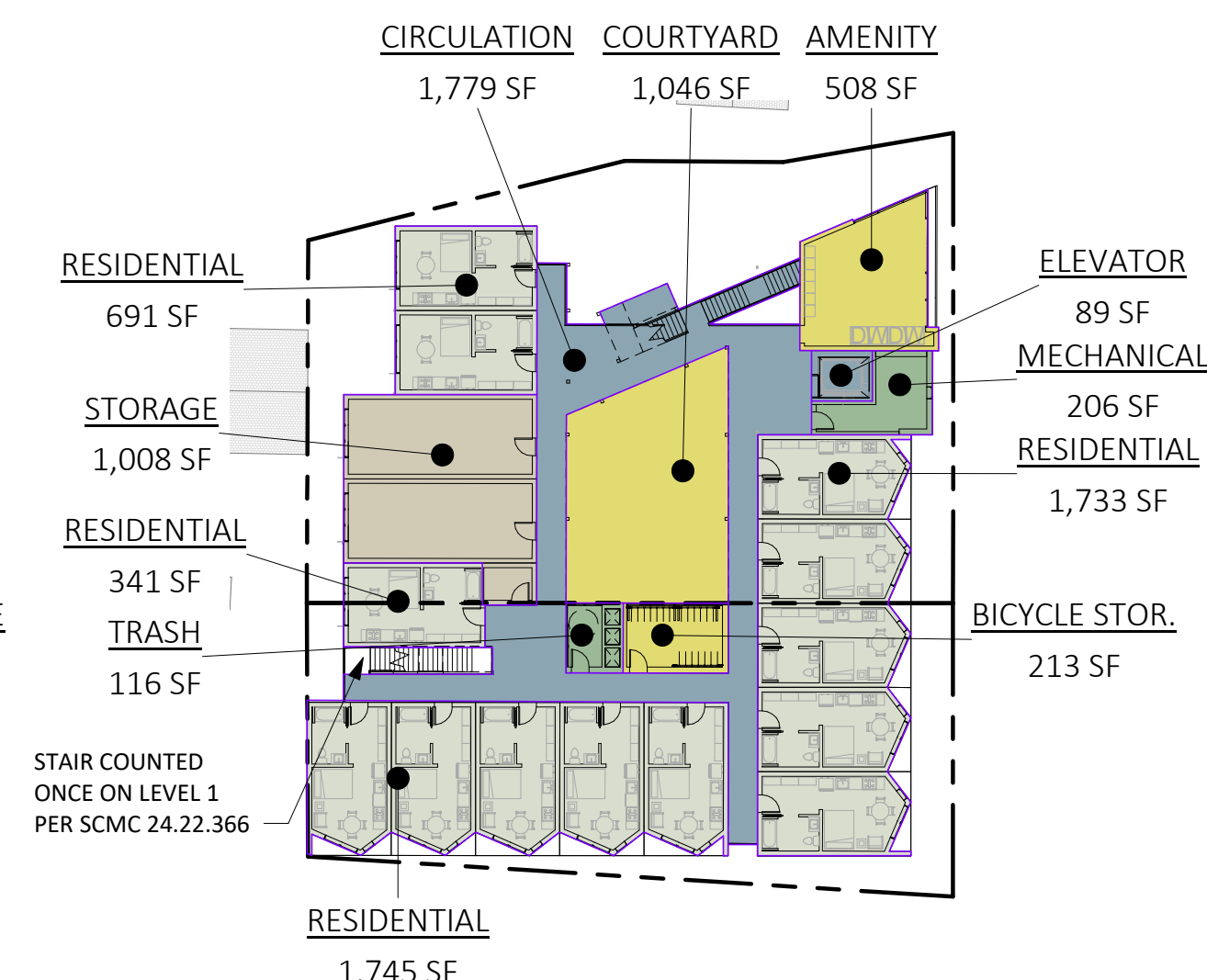
**BASE DENSITY GROSS BUILDING AREA PLANS**



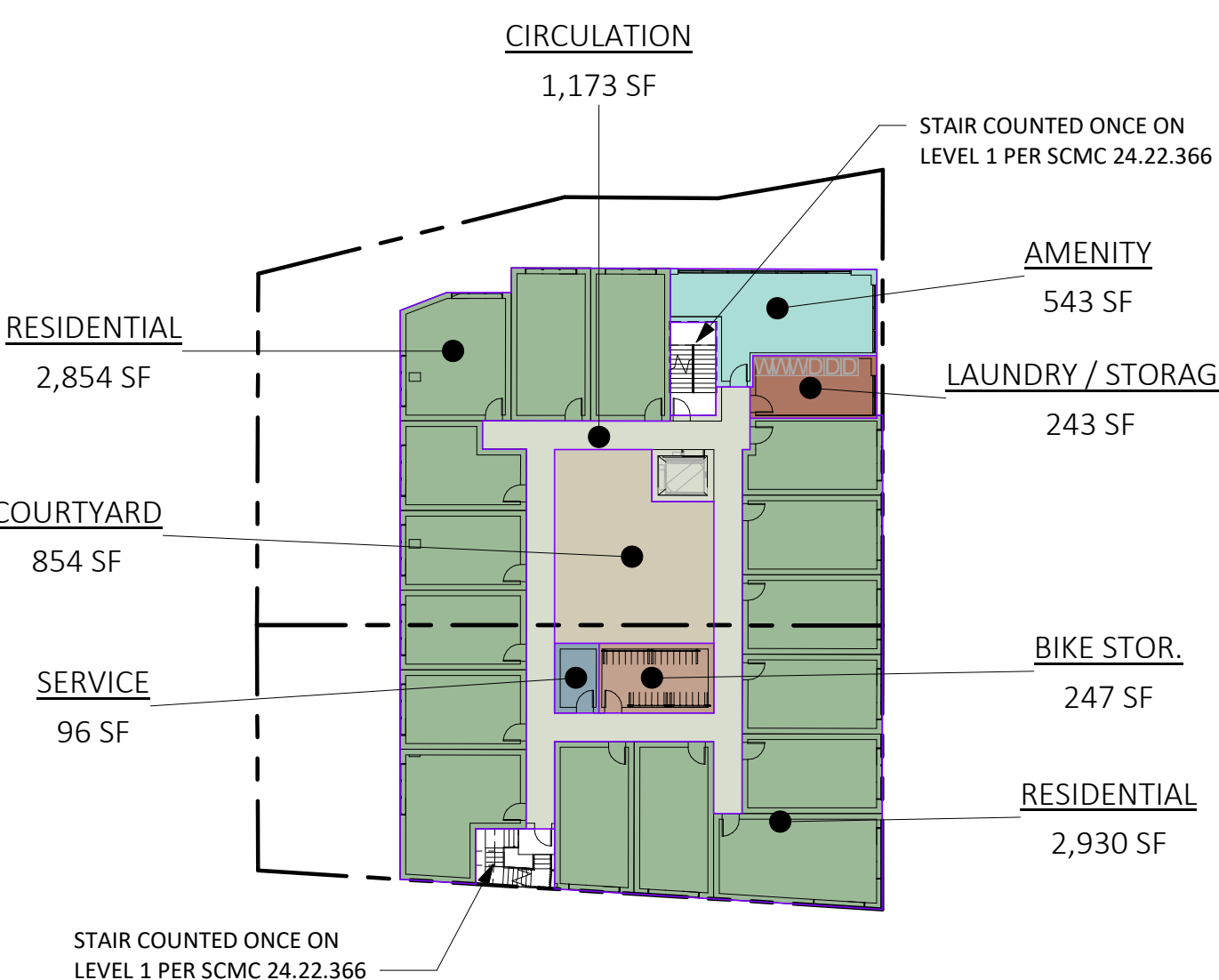
③ BASE DENSITY - GROSS BUILDING AREA - LEVEL 3  
1" = 30'-0"



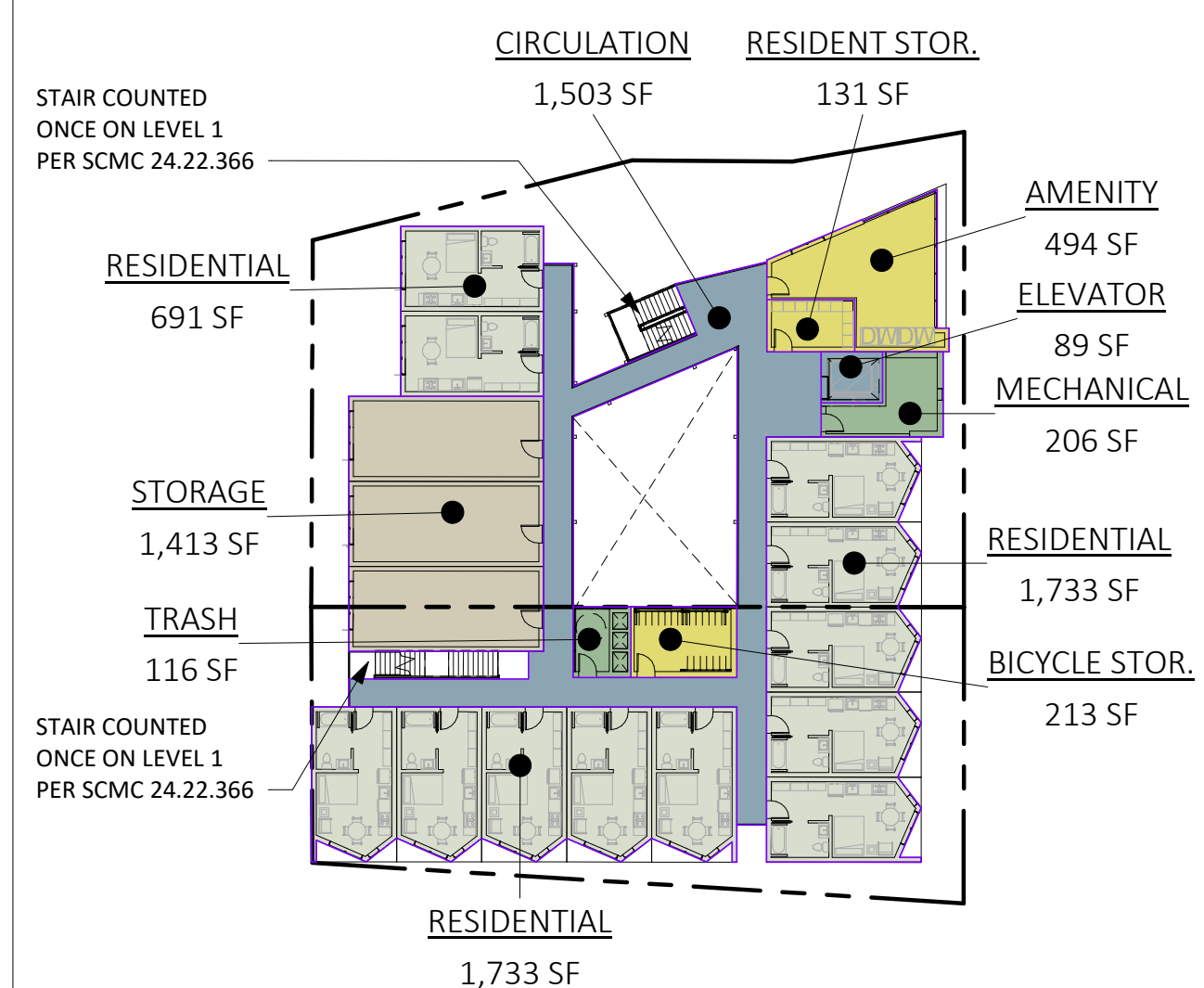
⑧ PROPOSED - GROSS BUILDING AREA - LEVEL 5  
1" = 30'-0"



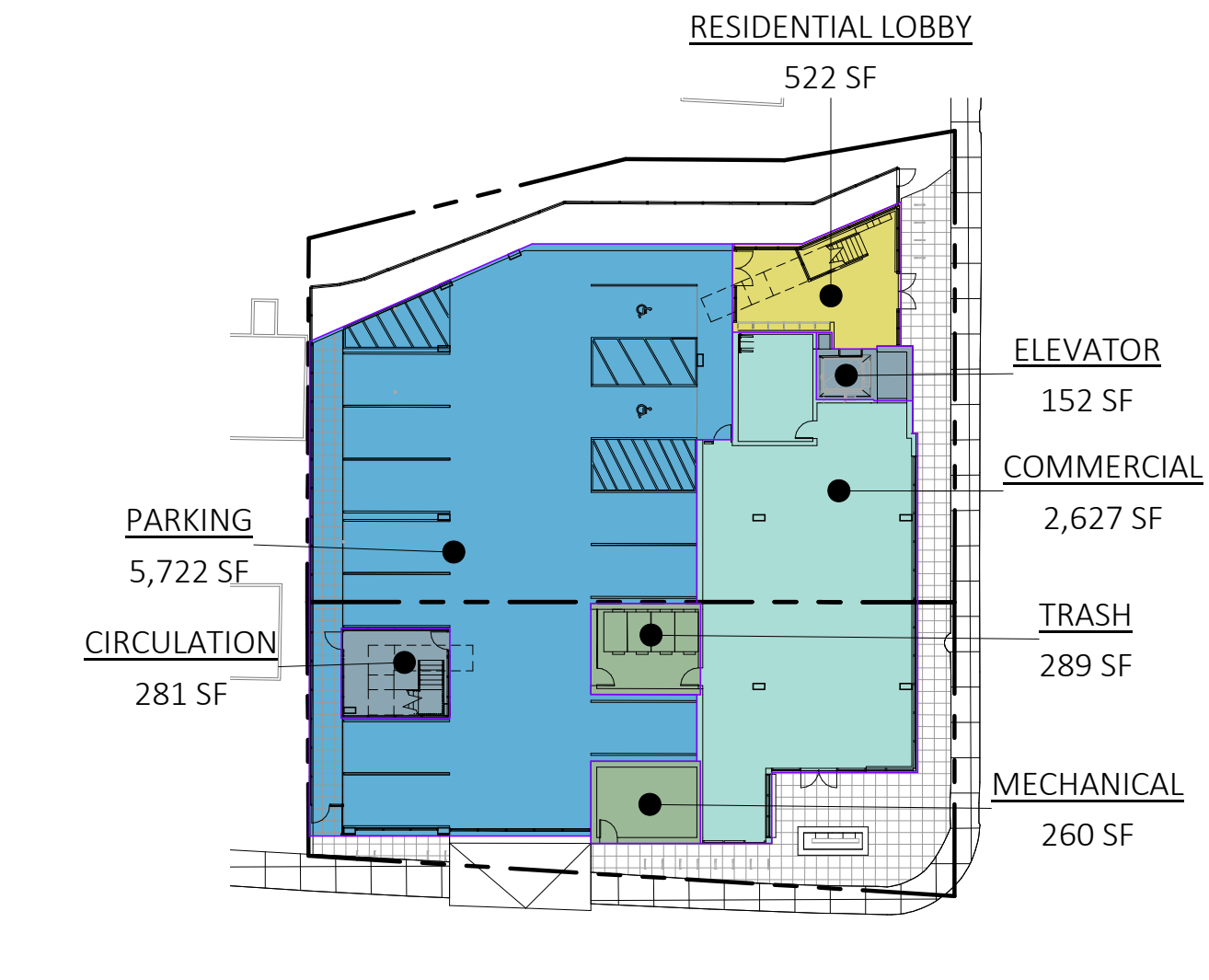
⑤ PROPOSED - GROSS BUILDING AREA - LEVEL 2  
1" = 30'-0"



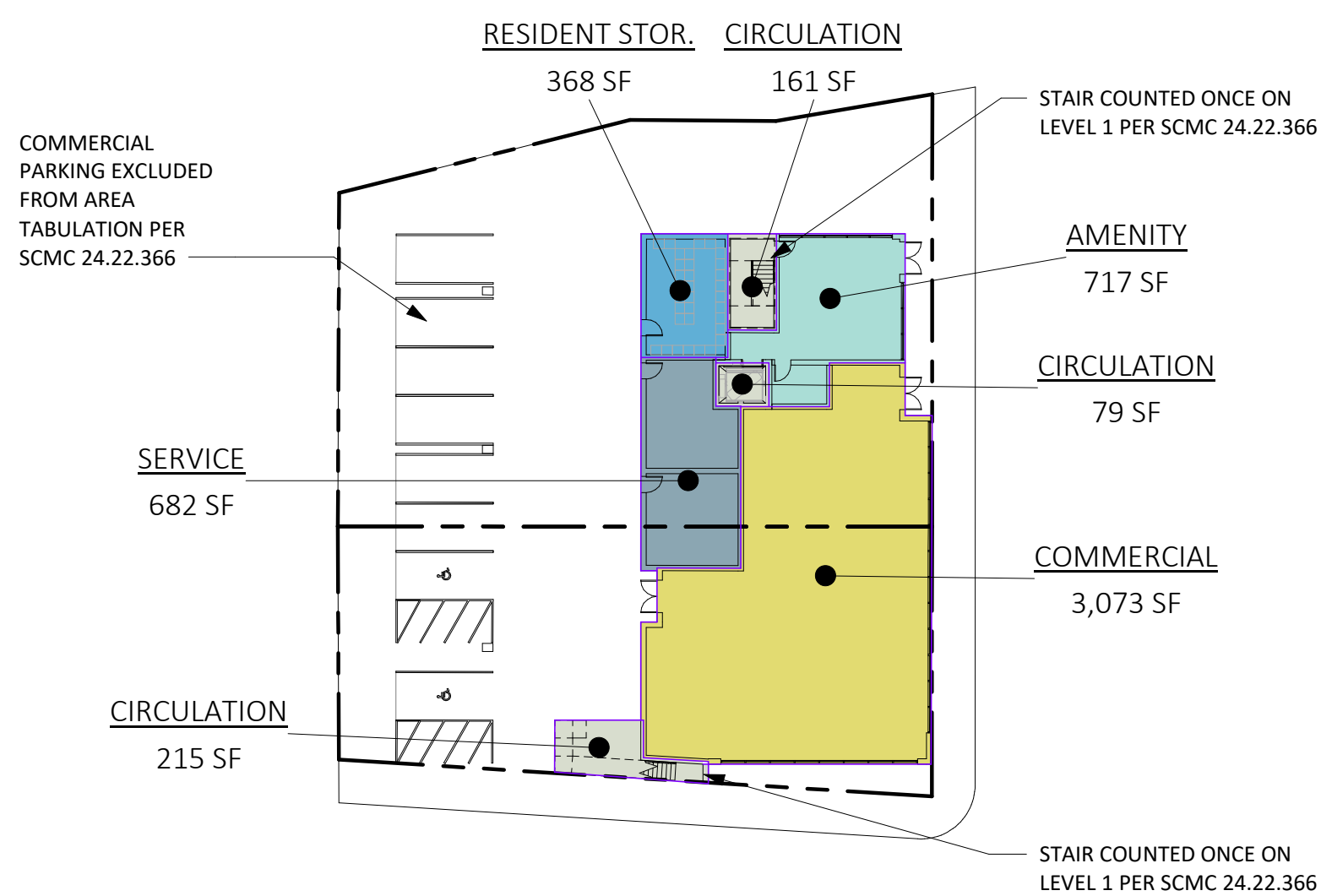
② BASE DENSITY - GROSS BUILDING AREA - LEVEL 2  
1" = 30'-0"



⑦ PROPOSED - GROSS BUILDING AREA - LEVEL 4  
1" = 30'-0"



④ PROPOSED - GROSS BUILDING AREA - LEVEL 1  
1" = 30'-0"



① BASE DENSITY - GROSS BUILDING AREA - LEVEL 1  
1" = 30'-0"

PROPOSED - GROSS BUILDING AREA								
LEVEL	RESIDENTIAL	CIRCULATION	PARKING	AMENITY	SERVICE / MECH.	COMMERCIAL	STORAGE	TOTALS
LEVEL 1	0 SF	433 SF	5,722 SF	522 SF	549 SF	2,627 SF	0 SF	9,853 SF
LEVEL 2	4,510 SF	1,868 SF	0 SF	1,767 SF	322 SF	0 SF	1,008 SF	9,475 SF
LEVEL 3	4,157 SF	1,591 SF	0 SF	838 SF	322 SF	0 SF	1,413 SF	8,321 SF
LEVEL 4	4,157 SF	1,592 SF	0 SF	838 SF	322 SF	0 SF	1,413 SF	8,322 SF
LEVEL 5	3,798 SF	1,542 SF	0 SF	213 SF	322 SF	0 SF	1,413 SF	7,288 SF
GRAND TOTALS	16,622 SF	7,026 SF	5,722 SF	4,178 SF	1,837 SF	2,627 SF	5,247 SF	43,259 SF

BASE DENSITY - GROSS BUILDING AREA							
LEVEL	RESIDENTIAL	CIRCULATION	PARKING	AMENITY	SERVICE / MECH.	COMMERCIAL	TOTALS
LEVEL 1	0 SF	455 SF	0 SF	1,086 SF	682 SF	3,073 SF	5,295 SF
LEVEL 2	5,784 SF	1,173 SF	0 SF	1,887 SF	96 SF	0 SF	8,939 SF
LEVEL 3	5,918 SF	1,138 SF	0 SF	253 SF	0 SF	0 SF	7,310 SF
GRAND TOTALS	11,702 SF	2,766 SF	0 SF	3,226 SF	778 SF	3,073 SF	21,544 SF

**AVERAGE GROSS**

**RESIDENTIAL UNIT SIZE:**

**SCMC 24.16.255 (6):**  
FOR THE PURPOSES OF CALCULATING THE NUMBER OF DENSITY BONUS UNITS IN AREAS WHERE A MAXIMUM DENSITY RANGE IS NOT PROVIDED IN THE ZONE DISTRICT OR GENERAL PLAN, AN IMPLICIT RESIDENTIAL DENSITY SHALL BE CALCULATED BASED ON A PROJECT PUT FORWARD BY THE APPLICANT THAT MEETS ALL APPLICABLE DEVELOPMENT STANDARDS. OBJECTIVE DEVELOPMENT STANDARDS SUCH AS SETBACKS, FLOOR AREA RATIO, AND HEIGHT LIMITATIONS, WHILE NOT DEFINING THE MAXIMUM DENSITY RANGE PER SE, CAN BE UTILIZED TO DETERMINE THE IMPLICIT RESIDENTIAL DENSITY ALLOWED. IN THIS APPROACH, A PROJECT DEFINES THE APPLICABLE RESIDENTIAL DENSITY FOR ITSELF BASED ON MEETING APPLICABLE DEVELOPMENT STANDARDS. THE AVERAGE SIZE OF THE UNITS PRESENTED IN THE BASE DENSITY PROJECT MUST BE EQUAL TO OR GREATER THAN THE AVERAGE SIZE OF THE UNITS PRESENTED IN THE DENSITY BONUS PROJECT.

**PROPOSED PROJECT:**

PROPOSED GROSS RESIDENTIAL AREA: 16,622 GSF

PROPOSED UNIT COUNT: 48 UNITS

AVERAGE GROSS UNIT SIZE: 346.3 GSF

**BASE DENSITY:**

BASE DENSITY GROSS RESIDENTIAL AREA: 11,702 GSF

BASE DENSITY UNIT COUNT: 33 UNITS

AVERAGE GROSS UNIT SIZE: 354.6 GSF



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**ISSUES/ REVISIONS**

Issue	DESCRIPTION	DATE
5	PLANNING REV-05	04.24.2024

APN number	006-203-25
Project number	21128
Print Date	01.09.2023
Drawn by	OH
Checked by	EB
Scale	1" = 30'-0"

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**GROSS AREA PLAN EXHIBITS**

**GP0.09**



**PROPOSED NET UNIT AREA PLANS**

**BASE DENSITY NET UNIT AREA PLANS**

**AVERAGE NET RESIDENTIAL UNIT SIZE:**

**SCMC 24.12.1010:**  
THE NET AREA OF A SRO UNIT MAY RANGE FROM A MINIMUM OF ONE HUNDRED FIFTY SQUARE FEET TO A MAXIMUM OF FOUR HUNDRED SQUARE FEET, WITH THE AVERAGE UNIT SIZE BEING NO GREATER THAN THREE HUNDRED FORTY-FIVE SQUARE FEET.

**PROPOSED PROJECT:**  
PROPOSED NET RESIDENTIAL AREA: 13,387 NSF

PROPOSED UNIT COUNT: 48 UNITS  
AVERAGE NET UNIT SIZE: 278.9 NSF

**BASE DENSITY:**  
BASE DENSITY NET RESIDENTIAL AREA: 9,250 NSF

BASE DENSITY UNIT COUNT: 33 UNITS  
AVERAGE NET UNIT SIZE: 280.3 NSF

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**ISSUES/ REVISIONS**

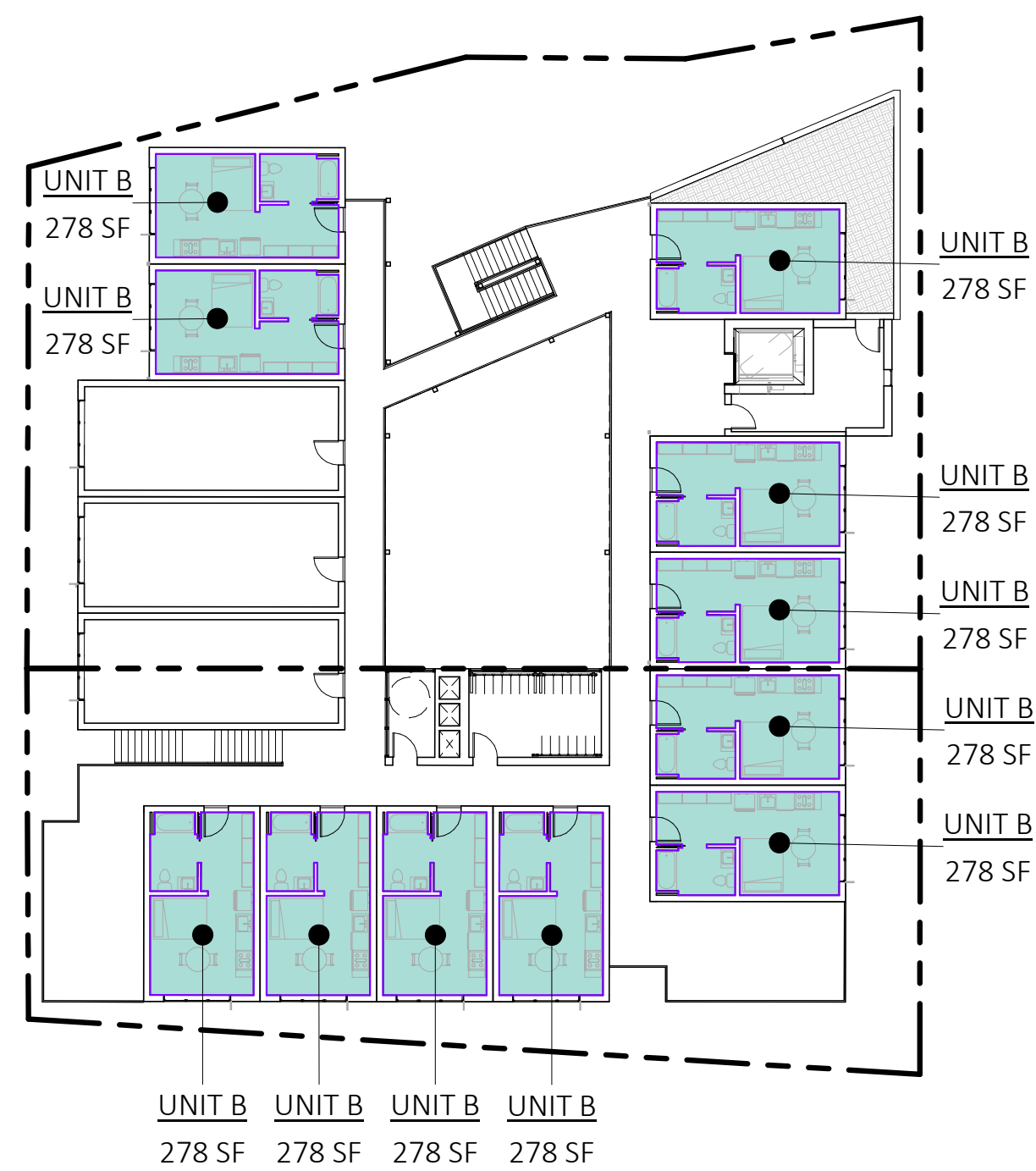
Issue	DESCRIPTION	DATE
5	PLANNING REV-05	04.24.2024

APN number	006-203-25
Project number	21128
Print Date	01.09.2023
Drawn by	OH
Checked by	EB
Scale	1" = 20'-0"

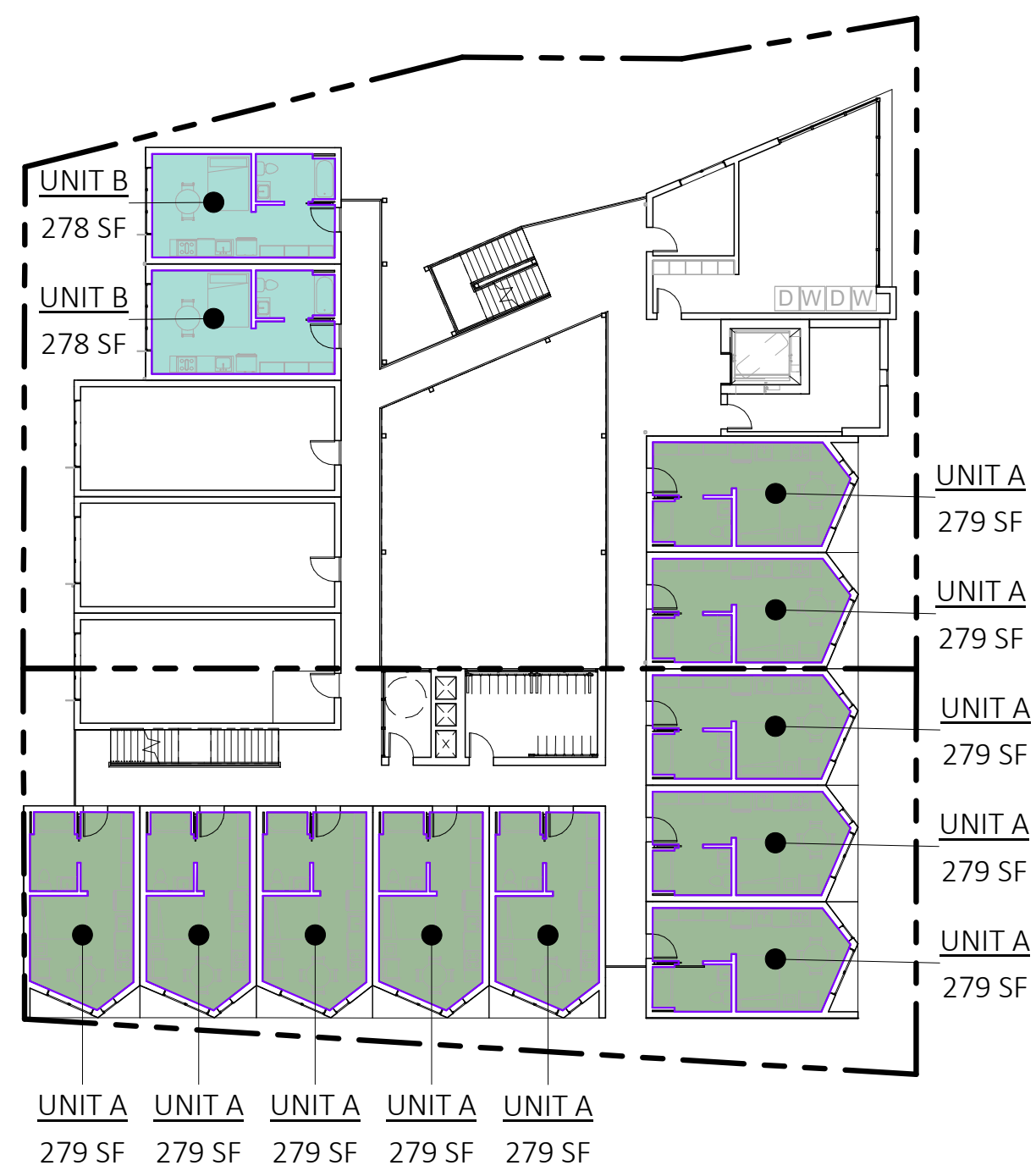
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**NET UNIT AREA PLAN EXHIBITS**

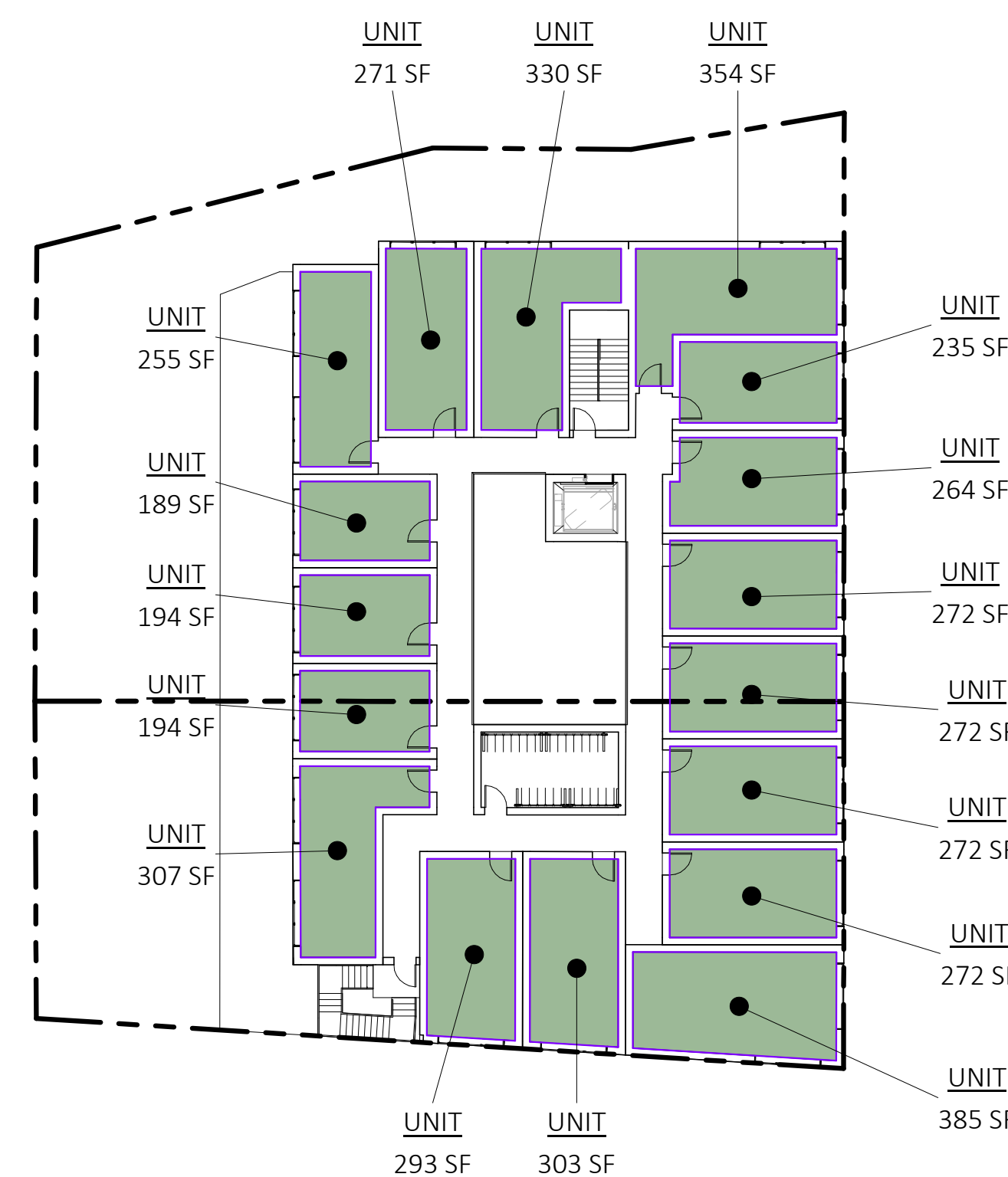
**GPO.10**



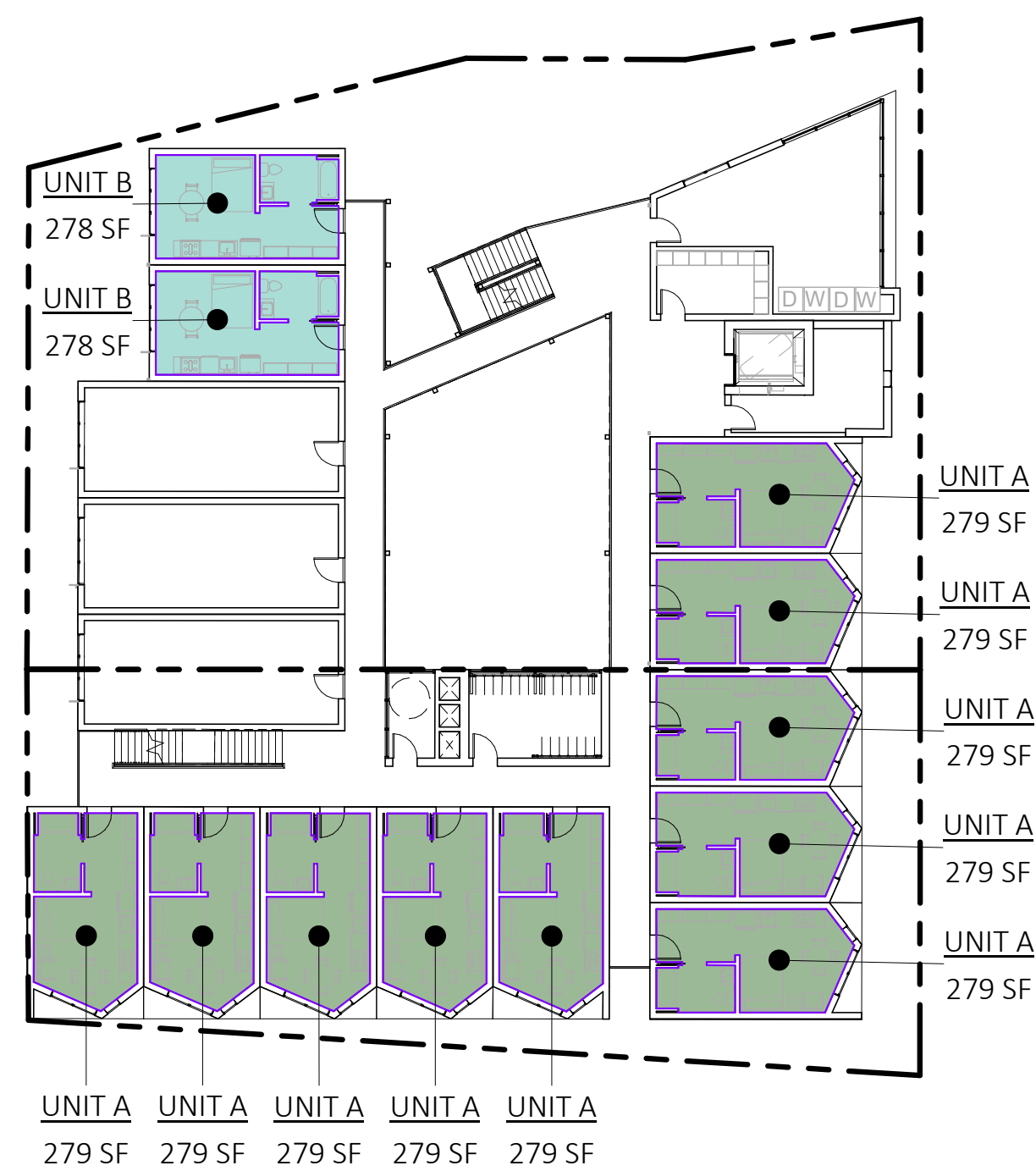
6 PROPOSED - NET UNIT AREA - LEVEL 5  
1" = 20'-0"



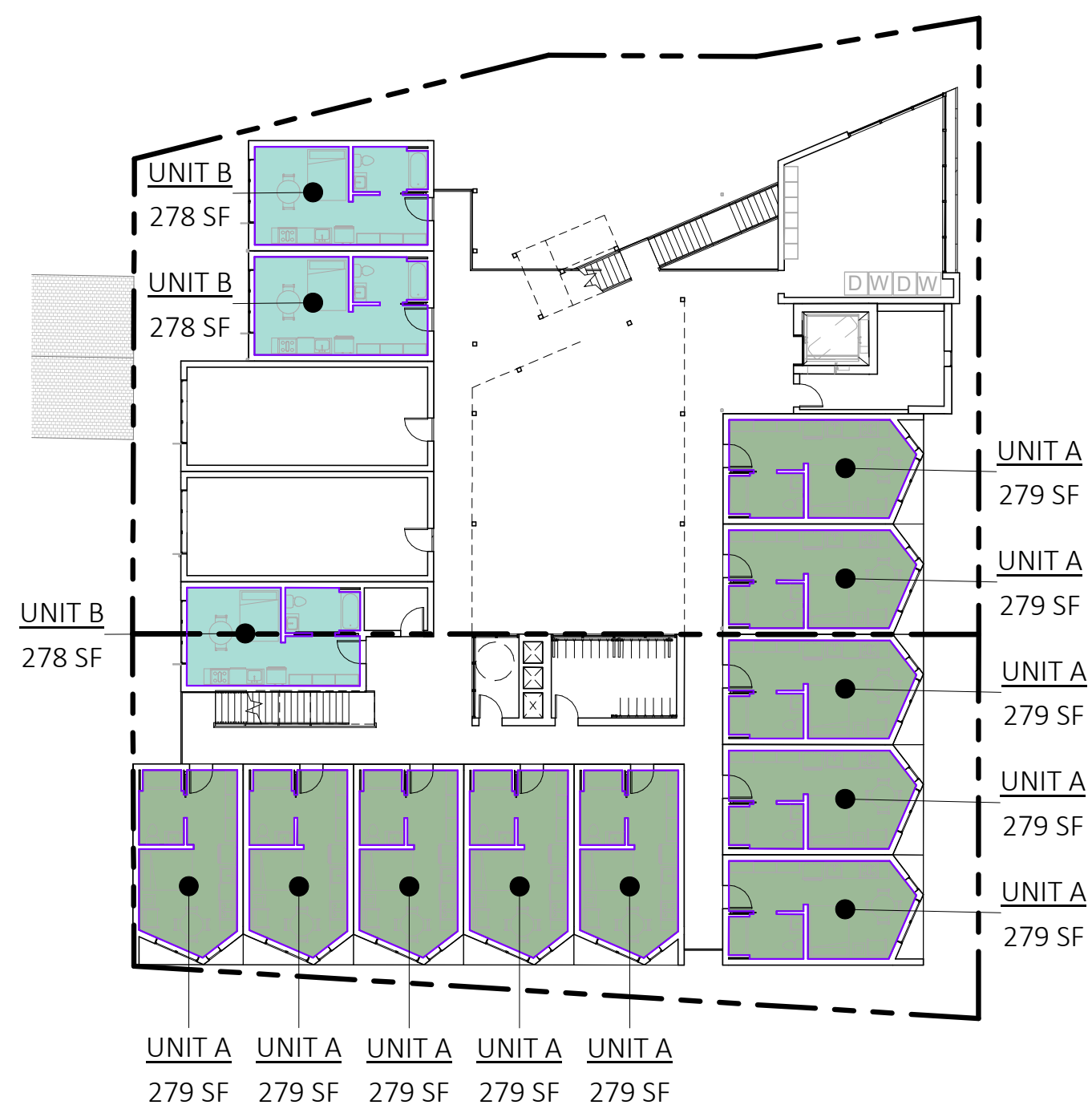
4 PROPOSED - NET UNIT AREA - LEVEL 3  
1" = 20'-0"



2 BASE DENSITY - NET UNIT AREA - LEVEL 3  
1" = 20'-0"



5 PROPOSED - NET UNIT AREA - LEVEL 4  
1" = 20'-0"



3 PROPOSED - NET UNIT AREA - LEVEL 2  
1" = 20'-0"



1 BASE DENSITY - NET UNIT AREA - LEVEL 2  
1" = 20'-0"

PROPOSED - AVERAGE NET UNIT AREA		
TOTAL NET UNIT AREA	COUNT	AVERAGE NET UNIT AREA
13,387 SF	48	278.9

BASE DENSITY - AVERAGE NET UNIT AREA		
TOTAL NET UNIT AREA	COUNT	AVERAGE NET UNIT AREA
9,250 SF	33	280.3



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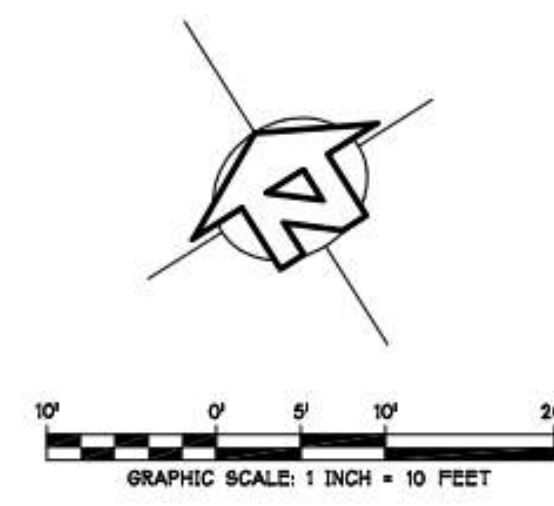
ISSUES/ REVISIONS		
Issue	DESCRIPTION	DATE
0	PLANNING APPLICATION	06.01.2023
1	PLANNING REV-01	08.25.2023
2	PLANNING REV-02	01.04.2024
3	PLANNING REV-03	03.11.2024

LAND SURVEY (FOR REFERENCE ONLY)  
**LS.10**

- NOTES:**
- SURVEY INCLUDED FOR INFORMATIONAL PURPOSES ONLY.
  - SURVEY IS NOT TO SCALE

**Surveyor's Notes**

- THERE IS A 0.21' OVERLAP BETWEEN VOLUME 310, PAGE 279, AND DEEDS VOLUME 21, PAGE 484 AND INSTRUMENT NUMBER 2010-0035480. THE OLDER PROPERTY LINE LOCATION WAS HELD.
- PROPERTY CORNER LOCATIONS ALONG LAUREL BETWEEN MISSION STREET AND CLEVELAND AVENUE WERE SEARCHED FOR NONE WERE FOUND, INCLUDING THOSE SHOWN ON 20 M 52. MOST OF THIS A PATCHWORK OF NEW SIDEWALK AND FENCES THAT ABUT THE BACK OF SIDEWALK.
- SURVEY 20 M 52 DOES NOT SHOW A BEARING FOR LAUREL STREET.
- THE "BANK" OF THE CREEK / STREAM WAS ESTABLISHED AT THE APPROXIMATE VEGETATION LEVEL. THIS LOCATION HAS BEEN MORE CHANNELIZED AND IMPROVED SINCE THE 1925 DEED. THE SHOWN LOCATION IS A BEST FIT AS OF THE DATE OF THIS SURVEY, HOLDING THE RECORD DISTANCE ALONG MISSION STREET.
- THIS BOUNDARY WAS PREPARED FROM CURRENT LEGAL DESCRIPTIONS 2018. SURVEY MAP 110 M 37 (CALTRANS MAP) SHOWS RIGHT-OF-WAY TAKES TO THE BACK OF SIDEWALK AND ADDITIONAL AREAS. THOSE ARE NOT REFLECTED IN THE CURRENT LEGAL DESCRIPTION AND NO TITLE REPORT WAS SUPPLIED.



**Legend**

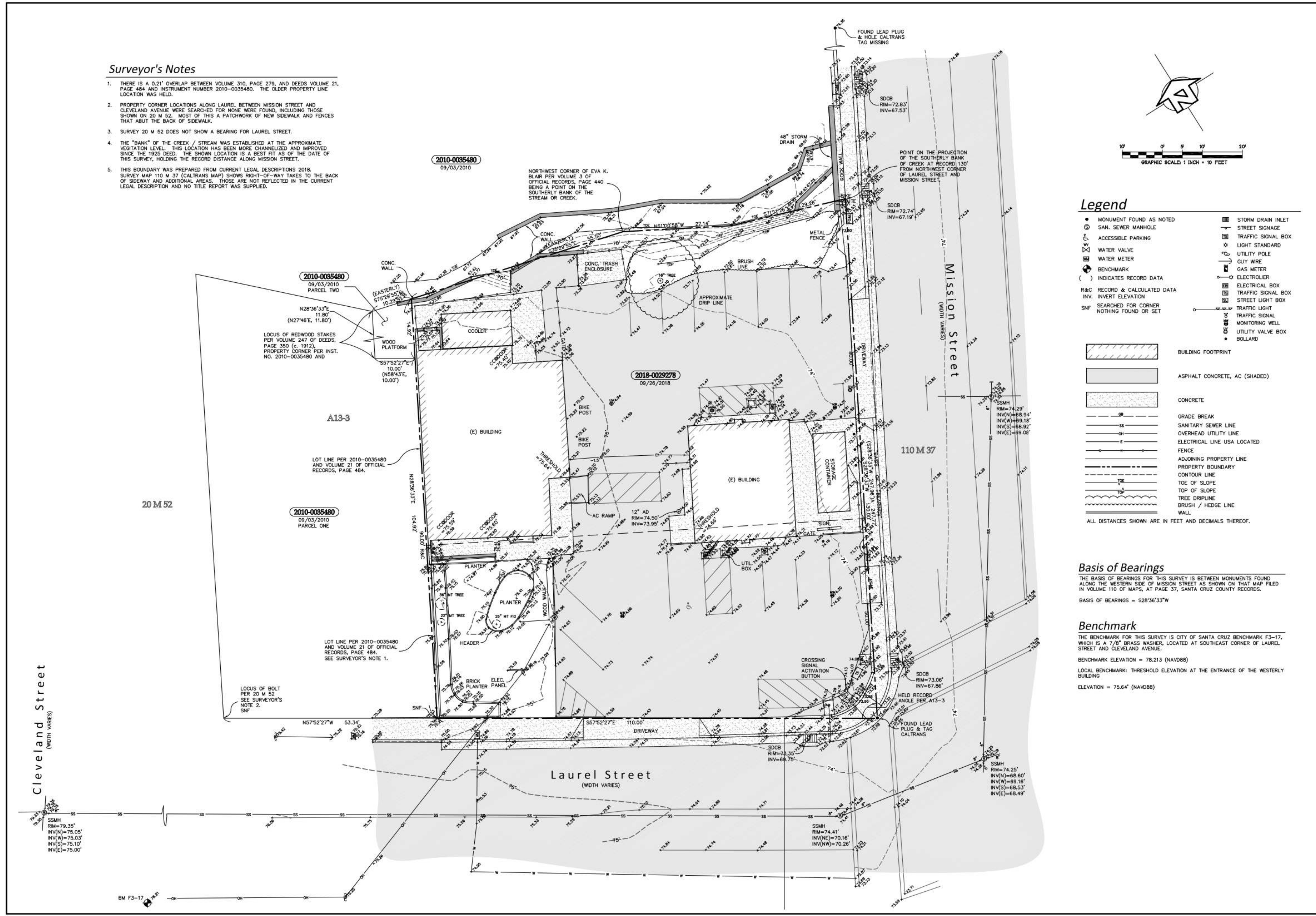
- MONUMENT FOUND AS NOTED
  - SAN. SEWER MANHOLE
  - ACCESSIBLE PARKING
  - WATER VALVE
  - WATER METER
  - BENCHMARK
  - ( ) INDICATES RECORD DATA
  - R&C RECORD & CALCULATED DATA
  - INV. INVERT ELEVATION
  - SNF SEARCHED FOR CORNER
  - NOTHING FOUND OR SET
  - STORM DRAIN INLET
  - STREET SIGNAGE
  - TRAFFIC SIGNAL BOX
  - LIGHT STANDARD
  - UTILITY POLE
  - GUY WIRE
  - GAS METER
  - ELECTROLIER
  - ELECTRICAL BOX
  - TRAFFIC SIGNAL BOX
  - STREET LIGHT BOX
  - TRAFFIC LIGHT
  - TRAFFIC SIGNAL MONITORING WELL
  - UTILITY VALVE BOX
  - BOLLARD
  - BUILDING FOOTPRINT
  - ASPHALT CONCRETE, AC (SHADED)
  - CONCRETE
  - GRADE BREAK
  - SANITARY SEWER LINE
  - OVERHEAD UTILITY LINE
  - ELECTRICAL LINE USA LOCATED
  - FENCE
  - ADJOINING PROPERTY LINE
  - PROPERTY BOUNDARY
  - CONTOUR LINE
  - TOE OF SLOPE
  - TOP OF SLOPE
  - TREE DRIFLINE
  - BRUSH / HEDGE LINE
  - WALL
- ALL DISTANCES SHOWN ARE IN FEET AND DECIMALS THEREOF.

**Basis of Bearings**

THE BASIS OF BEARINGS FOR THIS SURVEY IS BETWEEN MONUMENTS FOUND ALONG THE WESTERN SIDE OF MISSION STREET AS SHOWN ON THAT MAP FILED IN VOLUME 110 OF MAPS, AT PAGE 37, SANTA CRUZ COUNTY RECORDS.  
BASIS OF BEARINGS = S28°36'33"W

**Benchmark**

THE BENCHMARK FOR THIS SURVEY IS CITY OF SANTA CRUZ BENCHMARK F3-17, WHICH IS A 7/8" BRASS WASHER, LOCATED AT SOUTHEAST CORNER OF LAUREL STREET AND CLEVELAND AVENUE.  
BENCHMARK ELEVATION = 78.213 (NAVD88)  
LOCAL BENCHMARK: THRESHOLD ELEVATION AT THE ENTRANCE OF THE WESTERLY BUILDING  
ELEVATION = 75.64' (NAVD88)



REVISIONS

APPROVED

GV Land Surveying  
4113 Scots Valley Drive, Suite 102  
Santa Cruz, CA 95066  
gvlansurveying.com

Boundary and Topographic Survey  
**1130, 1132 Mission Street**  
Santa Cruz, CA

PREPARED AT THE REQUEST OF  
IFLAND ENGINEERS

DATE: 06/27/22 SCALE: 1"=10'

SHEET  
**1**  
OF 1 SHEETS

JOB NO. V22054

**DEMO SITE PLAN NOTES**

1. SEE SHEET GP0.01-GP0.05 FOR GENERAL NOTES AND PROJECT INFORMATION
2. REFERENCE LAND SURVEY FOR SITE ELEVATIONS, SLOPES AND EXISTING SITE CONDITIONS.
3. ADJACENT BUILDING HEIGHTS ARE SHOWN APPROXIMATELY BASED ON SURVEY INFORMATION AND GOOGLE EARTH MEASUREMENTS.



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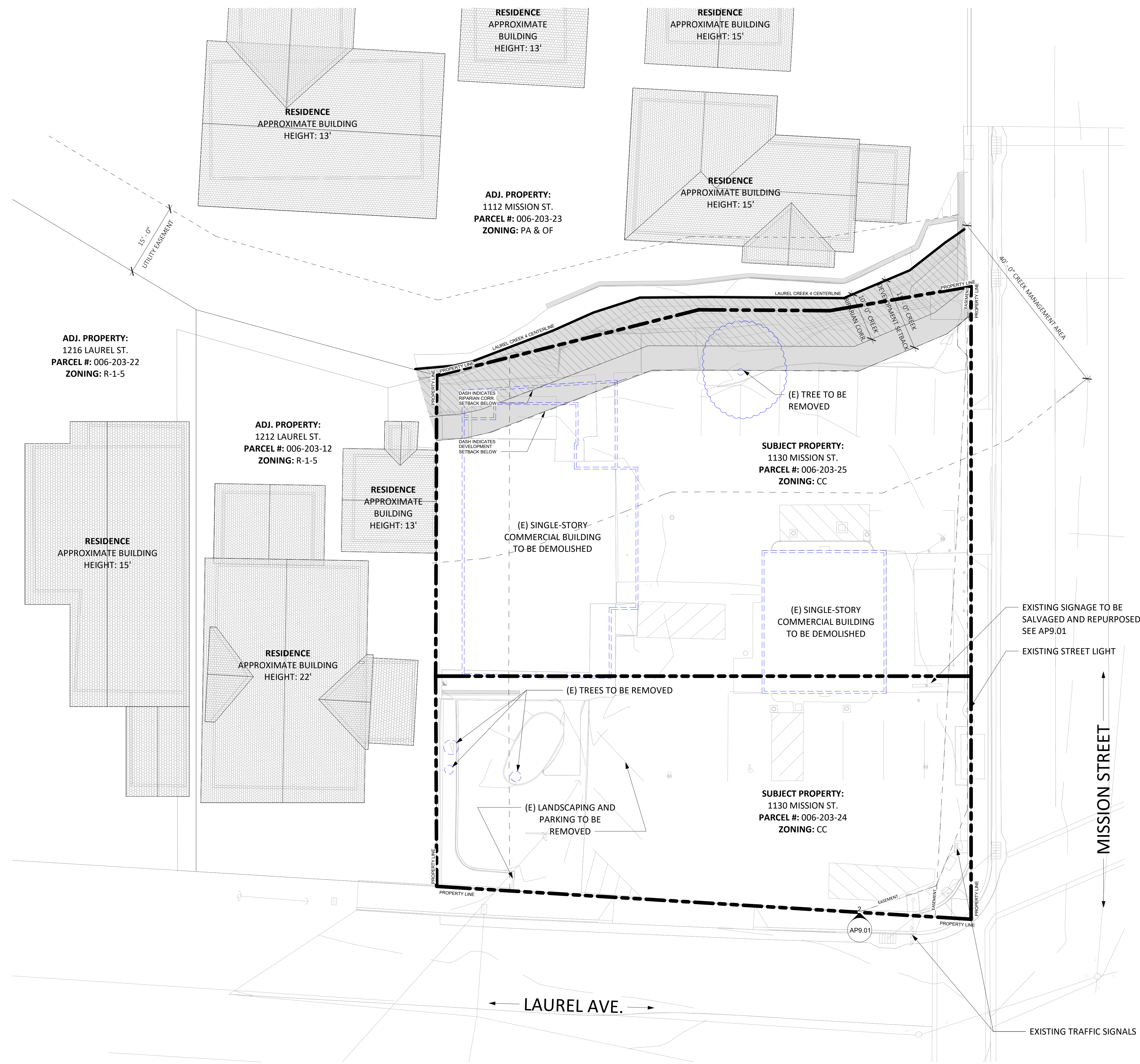
ISSUES/ REVISIONS

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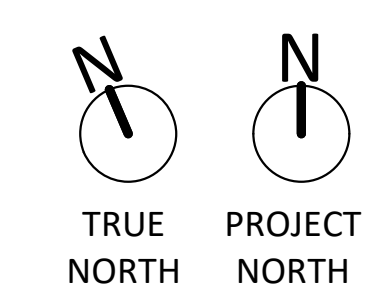
APN number 006-203-25  
Project number 21128  
Print Date 01.09.2023  
Drawn by OH  
Checked by EB  
Scale As indicated

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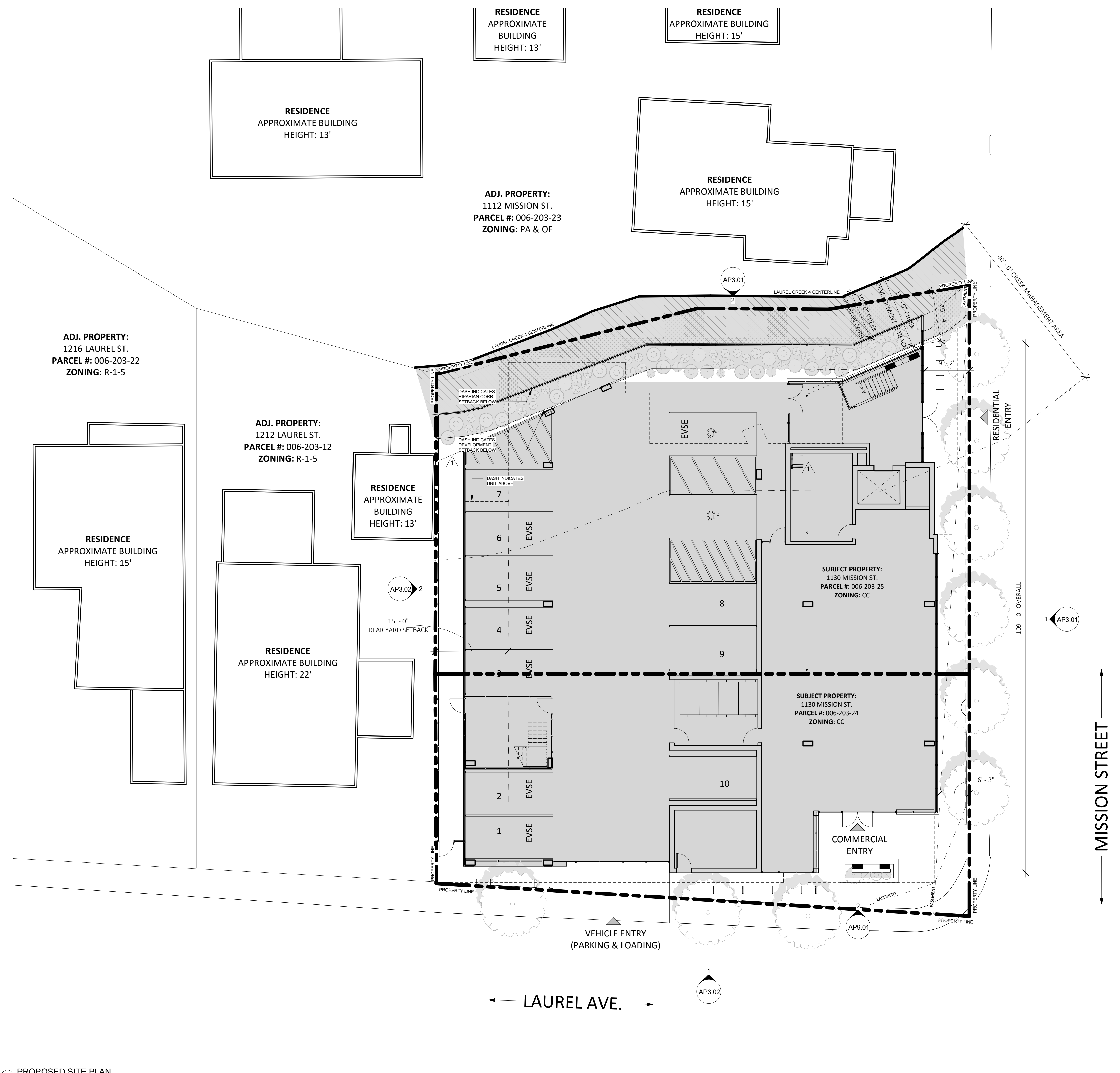
**PROPOSED DEMO SITE PLAN**  
**AP0.50D**



1 EXISTING SITE PLAN DEMO  
1" = 10'-0"



4/24/2024 5:05:06 PM



**SITE PLAN NOTES**

1. SEE SHEET GP0.01-GP0.05 FOR GENERAL NOTES AND PROJECT INFORMATION
2. ADJACENT BUILDING HEIGHTS ARE APPROXIMATE AND ARE TAKEN FROM ADJACENT GRADE ELEVATIONS.
3. REFERENCE LAND SURVEY FOR SITE ELEVATIONS, SLOPES AND EXISTING SITE CONDITIONS.



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**1130 & 1132 MISSION**  
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ISSUES/ REVISIONS

Issue	DESCRIPTION	DATE
0	SB330 PRE-APPLICATION	01.09.2023
1	PLANNING REV-01	06.01.2023
2	PLANNING REV-02	08.25.2023
3	PLANNING REV-03	01.04.2024
		03.11.2024

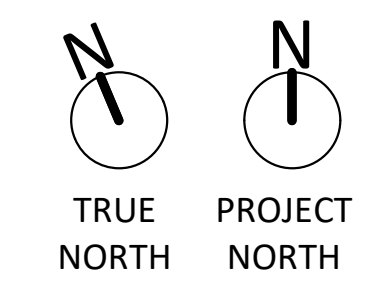
APN number	006-203-25
Project number	21128
Print Date	01.09.2023
Drawn by	OH
Checked by	EB
Scale	As indicated

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**PROPOSED SITE PLAN**  
**AP0.51**

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② PROPOSED SITE PLAN  
 1" = 10'-0"





1 FIRST FLOOR PLAN  
1/8" = 1'-0"

### FLOOR PLAN NOTES

- SEE SHEET GP0.01-GP0.05 FOR GENERAL NOTES AND PROJECT INFORMATION.
- ALL UNITS SHALL BE ADAPTABLE PER CBC CH 11A WITH BATHROOMS PER OPTION 2-U.O.N
- SEE CIVIL DRAWINGS FOR ALL SITE ELEVATIONS, SLOPE AND CURB INFORMATION.
- SEE LANDSCAPE DRAWINGS FOR PLANTING AND STREET TREE INFORMATION.

### UNIT MIX

UNIT TYPE	COUNT	NOTE:
UNIT A	30	SEE GP0.09 AND GP0.10 FOR GROSS BUILDING AREA EXHIBITS AND AVERAGE NET UNIT AREA EXHIBITS
UNIT B	18	
	48	

**AFFORDABLE UNIT MIX:**  
 8 VERY LOW INCOME → A  
 50 MARKET RATE  
 1 MANAGER UNIT → M

### FLOOR PLAN KEYED NOTES

KEYNOTE	MATERIAL
1	ALIGN
2	CLASS I BICYCLE PARKING
3	CLASS II BICYCLE PARKING
4	PROPOSED NEW PATTERNED METAL FENCE / GATE / SCREEN OR SIM.
5	ABOVE GRADE BUILT-IN PLANTER
6	DASH INDICATES FOOTPRINT OF BUILDING / CANOPY OVERHEAD
7	SLIDING VEHICLE ENTRY GATE
8	MAILBOXES
9	PLANTER / PLANTER BENCH
10	WASHER / DRYER MACHINES PER SRO REQUIREMENTS, 1 PER 20 UNITS
11	RESIDENT STORAGE LOCKERS PER SRO REQUIREMENTS
12	STRUCTURAL COLUMN / ELEMENT
13	SOLAR PHOTOVOLTAIC PANELS
14	MECHANICAL EQUIPMENT AND ROOF SCREEN, LOCATION INDICATED CONCEPTUALLY
15	HATCH INDICATES EXTENT OF VEGETATED ROOF, TRAY SYSTEM OR SIM.
16	EXTERIOR CORRIDOR
17	DOWNSPOUTS DRAIN TO STORMWATER PLANTER, REF CIVIL

### RESIDENT AMENITIES

**TOTAL RESIDENTIAL STORAGE SPACES PROVIDED:** 60 SPACES  
 0 - SINGLE STORAGE LOCKERS 0 SPACES  
 0 - DOUBLE STORAGE LOCKERS 0 SPACES  
 20 - TRIPLE STORAGE LOCKERS 60 SPACES

**TOTAL RESIDENTIAL WASHER/DRYERS PROVIDED:** 6 WASHERS, 6 DRYERS  
 1 WASHER / DRYER REQUIRED PER 20 UNITS: 3 WASHERS, 3 DRYERS

**TOTAL COMMON INDOOR SPACE PROVIDED:** SEE GP0.04 FOR TOTAL COMMON INDOOR SPACE

**TOTAL COMMON OUTDOOR SPACE PROVIDED:** SEE GP0.04 FOR TOTAL COMMON OUTDOOR SPACE



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### ISSUES/ REVISIONS

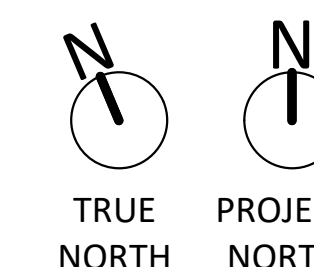
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2	PLANNING REV-02	01.04.2024
3	PLANNING REV-03	03.11.2024

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PROPOSED FLOOR PLAN - LEVEL 1

**AP1.01**





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3	PLANNING REV-03	03.11.2024
5	PLANNING REV-05	04.24.2024

APN number	006-203-25
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Scale	As indicated

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**PROPOSED FLOOR PLAN - LEVEL 2**  
**AP1.02**

**FLOOR PLAN NOTES**

- SEE SHEET GP0.01-GP0.05 FOR GENERAL NOTES AND PROJECT INFORMATION.
- ALL UNITS SHALL BE ADAPTABLE PER CBC CH 11A WITH BATHROOMS PER OPTION 2 -U.O.N
- SEE CIVIL DRAWINGS FOR ALL SITE ELEVATIONS, SLOPE AND CURB INFORMATION.
- SEE LANDSCAPE DRAWINGS FOR PLANTING AND STREET TREE INFORMATION.

**UNIT MIX**

UNIT TYPE	COUNT	NOTE:
UNIT A	30	SEE GP0.09 AND GP0.10 FOR GROSS BUILDING AREA EXHIBITS AND AVERAGE NET UNIT AREA EXHIBITS
UNIT B	18	
	48	

**AFFORDABLE UNIT MIX:**  
8 VERY LOW INCOME  
50 MARKET RATE  
1 MANAGER UNIT

PLAN SYMBOL DESIGNATION:  
A  
M

**FLOOR PLAN KEYED NOTES**

KEYNOTE	MATERIAL
1	ALIGN
2	CLASS I BICYCLE PARKING
3	CLASS II BICYCLE PARKING
4	PROPOSED NEW PATTERNED METAL FENCE / GATE / SCREEN OR SIM.
5	ABOVE GRADE BUILT-IN PLANTER
6	DASH INDICATES FOOTPRINT OF BUILDING / CANOPY OVERHEAD
7	SLIDING VEHICLE ENTRY GATE
8	MAILBOXES
9	PLANTER / PLANTER BENCH
10	WASHER / DRYER MACHINES PER SRO REQUIREMENTS, 1 PER 20 UNITS
11	RESIDENT STORAGE LOCKERS PER SRO REQUIREMENTS
12	STRUCTURAL COLUMN / ELEMENT
13	SOLAR PHOTOVOLTAIC PANELS
14	MECHANICAL EQUIPMENT AND ROOF SCREEN, LOCATION INDICATED CONCEPTUALLY
15	HATCH INDICATES EXTENT OF VEGETATED ROOF, TRAY SYSTEM OR SIM.
16	EXTERIOR CORRIDOR
17	DOWNSPOUTS DRAIN TO STORMWATER PLANTER, REF CIVIL

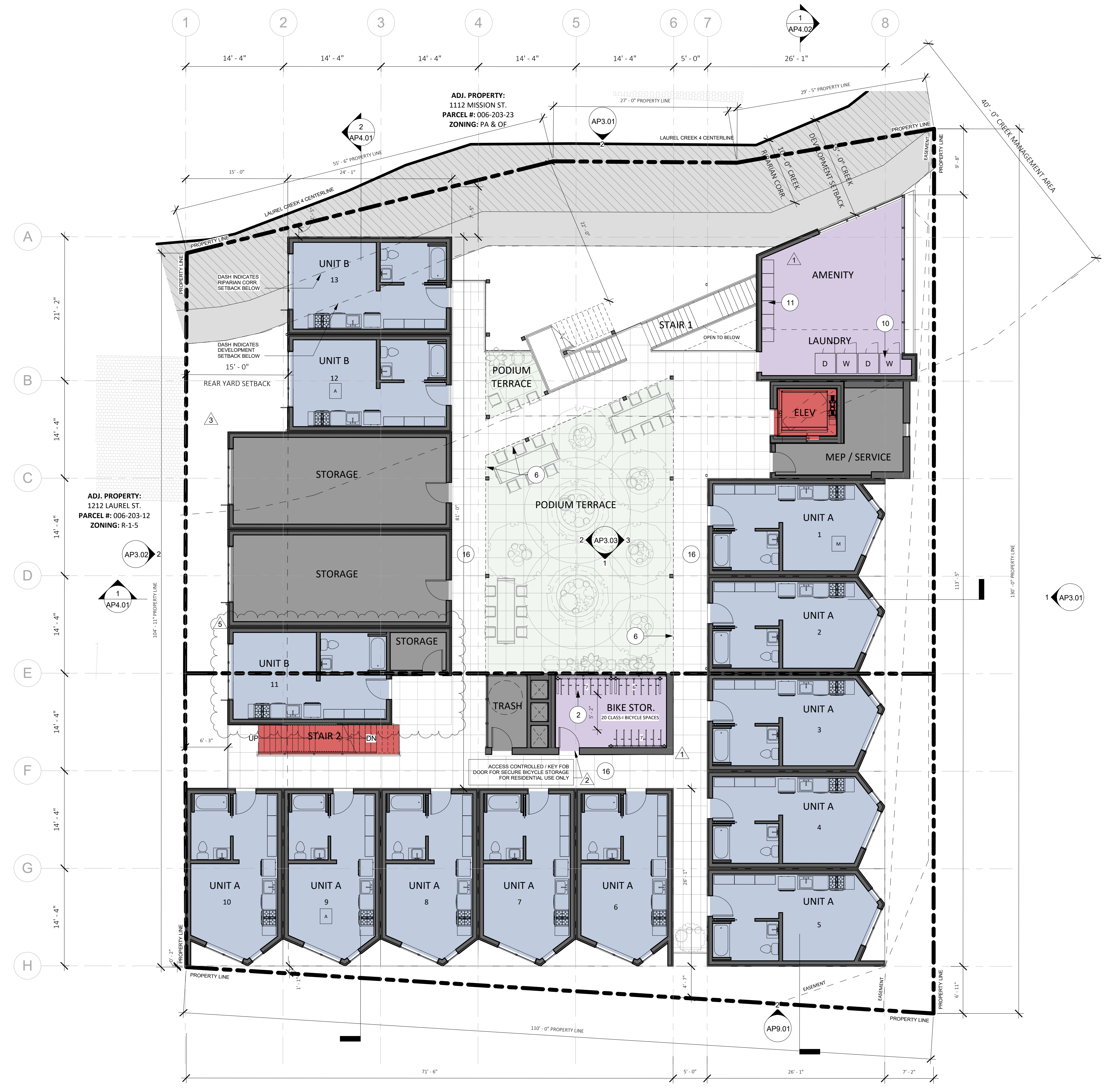
**RESIDENT AMENITIES**

**TOTAL RESIDENTIAL STORAGE SPACES PROVIDED:** 60 SPACES  
0 - SINGLE STORAGE LOCKERS 0 SPACES  
0 - DOUBLE STORAGE LOCKERS 0 SPACES  
20 - TRIPLE STORAGE LOCKERS 60 SPACES

**TOTAL RESIDENTIAL WASHER/DRYERS PROVIDED:** 6 WASHERS, 6 DRYERS  
1 WASHER / DRYER REQUIRED PER 20 UNITS: 3 WASHERS, 3 DRYERS

**TOTAL COMMON INDOOR SPACE PROVIDED:** SEE GP0.04 FOR TOTAL COMMON INDOOR SPACE

**TOTAL COMMON OUTDOOR SPACE PROVIDED:** SEE GP0.04 FOR TOTAL COMMON OUTDOOR SPACE



**1 SECOND FLOOR PLAN**  
1/8" = 1'-0"



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3	PLANNING REV-03	03.11.2024

APN number	006-203-25
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Drawn by	OH
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Scale	As indicated

PROPOSED FLOOR PLAN - LEVEL 3  
**AP1.03**

**FLOOR PLAN NOTES**

- SEE SHEET GP0.01-GP0.05 FOR GENERAL NOTES AND PROJECT INFORMATION.
- ALL UNITS SHALL BE ADAPTABLE PER CBC CH 11A WITH BATHROOMS PER OPTION 2 - U.O.N
- SEE CIVIL DRAWINGS FOR ALL SITE ELEVATIONS, SLOPE AND CURB INFORMATION.
- SEE LANDSCAPE DRAWINGS FOR PLANTING AND STREET TREE INFORMATION.

**UNIT MIX**

UNIT TYPE	COUNT
UNIT A	30
UNIT B	18
	48

**NOTE:** SEE GP0.09 AND GP0.10 FOR GROSS BUILDING AREA EXHIBITS AND AVERAGE NET UNIT AREA EXHIBITS

**AFFORDABLE UNIT MIX:**

- 8 VERY LOW INCOME → A
- 50 MARKET RATE
- 1 MANAGER UNIT → M

PLAN SYMBOL DESIGNATION:

**FLOOR PLAN KEYED NOTES**

KEYNOTE	MATERIAL
1	ALIGN
2	CLASS I BICYCLE PARKING
3	CLASS II BICYCLE PARKING
4	PROPOSED NEW PATTERNED METAL FENCE / GATE / SCREEN OR SIM.
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16	EXTERIOR CORRIDOR
17	DOWNSPOUTS DRAIN TO STORMWATER PLANTER, REF CIVIL

**RESIDENT AMENITIES**

**TOTAL RESIDENTIAL STORAGE SPACES PROVIDED:** 60 SPACES

- 0 - SINGLE STORAGE LOCKERS
- 0 - DOUBLE STORAGE LOCKERS
- 20 - TRIPLE STORAGE LOCKERS

**TOTAL RESIDENTIAL WASHER/DRYERS PROVIDED:** 6 WASHERS, 6 DRYERS

- 1 WASHER / DRYER REQUIRED PER 20 UNITS: 3 WASHERS, 3 DRYERS

**TOTAL COMMON INDOOR SPACE PROVIDED:** SEE GP0.04 FOR TOTAL COMMON INDOOR SPACE

**TOTAL COMMON OUTDOOR SPACE PROVIDED:** SEE GP0.04 FOR TOTAL COMMON OUTDOOR SPACE



1 PROPOSED FLOOR PLAN - LEVEL 3  
1/8" = 1'-0"

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APN number	006-203-25
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**PROPOSED FLOOR PLAN - LEVEL 4**  
**AP1.04**

**FLOOR PLAN NOTES**

- SEE SHEET GP0.01-GP0.05 FOR GENERAL NOTES AND PROJECT INFORMATION.
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- SEE CIVIL DRAWINGS FOR ALL SITE ELEVATIONS, SLOPE AND CURB INFORMATION.
- SEE LANDSCAPE DRAWINGS FOR PLANTING AND STREET TREE INFORMATION.

**UNIT MIX**

UNIT TYPE	COUNT
UNIT A	30
UNIT B	18
	48

**NOTE:** SEE GP0.09 AND GP0.10 FOR GROSS BUILDING AREA EXHIBITS AND AVERAGE NET UNIT AREA EXHIBITS

**AFFORDABLE UNIT MIX:**

- 8 VERY LOW INCOME → A
- 50 MARKET RATE
- 1 MANAGER UNIT → M

PLAN SYMBOL DESIGNATION:

**FLOOR PLAN KEYED NOTES**

KEYNOTE	MATERIAL
1	ALIGN
2	CLASS I BICYCLE PARKING
3	CLASS II BICYCLE PARKING
4	PROPOSED NEW PATTERNED METAL FENCE / GATE / SCREEN OR SIM.
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16	EXTERIOR CORRIDOR
17	DOWNSPOUTS DRAIN TO STORMWATER PLANTER, REF CIVIL

**RESIDENT AMENITIES**

**TOTAL RESIDENTIAL STORAGE SPACES PROVIDED:** 60 SPACES  
 0 - SINGLE STORAGE LOCKERS 0 SPACES  
 0 - DOUBLE STORAGE LOCKERS 0 SPACES  
 20 - TRIPLE STORAGE LOCKERS 60 SPACES

**TOTAL RESIDENTIAL WASHER/DRYERS PROVIDED:** 6 WASHERS, 6 DRYERS  
 1 WASHER / DRYER REQUIRED PER 20 UNITS: 3 WASHERS, 3 DRYERS

**TOTAL COMMON INDOOR SPACE PROVIDED:** SEE GP0.04 FOR TOTAL COMMON INDOOR SPACE

**TOTAL COMMON OUTDOOR SPACE PROVIDED:** SEE GP0.04 FOR TOTAL COMMON OUTDOOR SPACE



**1 PROPOSED FLOOR PLAN - LEVEL 4**  
1/8" = 1'-0"





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		03.11.2024

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**PROPOSED FLOOR PLAN - LEVEL 5**  
**AP1.05**

**FLOOR PLAN NOTES**

- SEE SHEET GP0.01-GP0.05 FOR GENERAL NOTES AND PROJECT INFORMATION.
- ALL UNITS SHALL BE ADAPTABLE PER CBC CH 11A WITH BATHROOMS PER OPTION 2 - U.O.N
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- SEE LANDSCAPE DRAWINGS FOR PLANTING AND STREET TREE INFORMATION.

**UNIT MIX**

UNIT TYPE	COUNT
UNIT A	30
UNIT B	18
	48

**NOTE:** SEE GP0.09 AND GP0.10 FOR GROSS BUILDING AREA EXHIBITS AND AVERAGE NET UNIT AREA EXHIBITS

**AFFORDABLE UNIT MIX:**

8 VERY LOW INCOME → A  
50 MARKET RATE  
1 MANAGER UNIT → M

**FLOOR PLAN KEYED NOTES**

KEYNOTE	MATERIAL
1	ALIGN
2	CLASS I BICYCLE PARKING
3	CLASS II BICYCLE PARKING
4	PROPOSED NEW PATTERNED METAL FENCE / GATE / SCREEN OR SIM.
5	ABOVE GRADE BUILT-IN PLANTER
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10	WASHER / DRYER MACHINES PER SRO REQUIREMENTS, 1 PER 20 UNITS
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12	STRUCTURAL COLUMN / ELEMENT
13	SOLAR PHOTOVOLTAIC PANELS
14	MECHANICAL EQUIPMENT AND ROOF SCREEN, LOCATION INDICATED CONCEPTUALLY
15	HATCH INDICATES EXTENT OF VEGETATED ROOF, TRAY SYSTEM OR SIM.
16	EXTERIOR CORRIDOR
17	DOWNSPOUTS DRAIN TO STORMWATER PLANTER, REF CIVIL

**RESIDENT AMENITIES**

**TOTAL RESIDENTIAL STORAGE SPACES PROVIDED:** 60 SPACES  
 0 - SINGLE STORAGE LOCKERS 0 SPACES  
 0 - DOUBLE STORAGE LOCKERS 0 SPACES  
 20 - TRIPLE STORAGE LOCKERS 60 SPACES

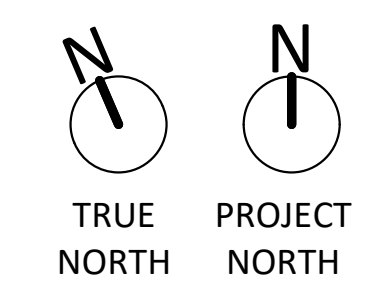
**TOTAL RESIDENTIAL WASHER/DRYERS PROVIDED:** 6 WASHERS, 6 DRYERS  
 1 WASHER / DRYER REQUIRED PER 20 UNITS: 3 WASHERS, 3 DRYERS

**TOTAL COMMON INDOOR SPACE PROVIDED:** SEE GP0.04 FOR TOTAL COMMON INDOOR SPACE

**TOTAL COMMON OUTDOOR SPACE PROVIDED:** SEE GP0.04 FOR TOTAL COMMON OUTDOOR SPACE



**1 PROPOSED FLOOR PLAN - LEVEL 5**  
1/8" = 1'-0"





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Checked by	EB
Scale	As indicated

**PROPOSED ROOF PLAN**  
**AP1.06**

**FLOOR PLAN NOTES**

- SEE SHEET GP0.01-GP0.05 FOR GENERAL NOTES AND PROJECT INFORMATION.
- ALL UNITS SHALL BE ADAPTABLE PER CBC CH 11A WITH BATHROOMS PER OPTION 2 -U.O.N
- SEE CIVIL DRAWINGS FOR ALL SITE ELEVATIONS, SLOPE AND CURB INFORMATION.
- SEE LANDSCAPE DRAWINGS FOR PLANTING AND STREET TREE INFORMATION.

**UNIT MIX**

UNIT TYPE	COUNT
UNIT A	30
UNIT B	18
	48

NOTE:  
SEE GP0.09 AND GP0.10 FOR GROSS BUILDING AREA EXHIBITS AND AVERAGE NET UNIT AREA EXHIBITS

**AFFORDABLE UNIT MIX:**

8 VERY LOW INCOME → A

50 MARKET RATE → M

1 MANAGER UNIT → M

**FLOOR PLAN KEYED NOTES**

FLOOR PLAN KEYED NOTES	
KEYNOTE	MATERIAL
1	ALIGN
2	CLASS I BICYCLE PARKING
3	CLASS II BICYCLE PARKING
4	PROPOSED NEW PATTERNED METAL FENCE / GATE / SCREEN OR SIM.
5	ABOVE GRADE BUILT-IN PLANTER
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16	EXTERIOR CORRIDOR
17	DOWNSPOUTS DRAIN TO STORMWATER PLANTER, REF CIVIL

**RESIDENT AMENITIES**

**TOTAL RESIDENTIAL STORAGE SPACES PROVIDED:** 60 SPACES

0 - SINGLE STORAGE LOCKERS 0 SPACES

0 - DOUBLE STORAGE LOCKERS 0 SPACES

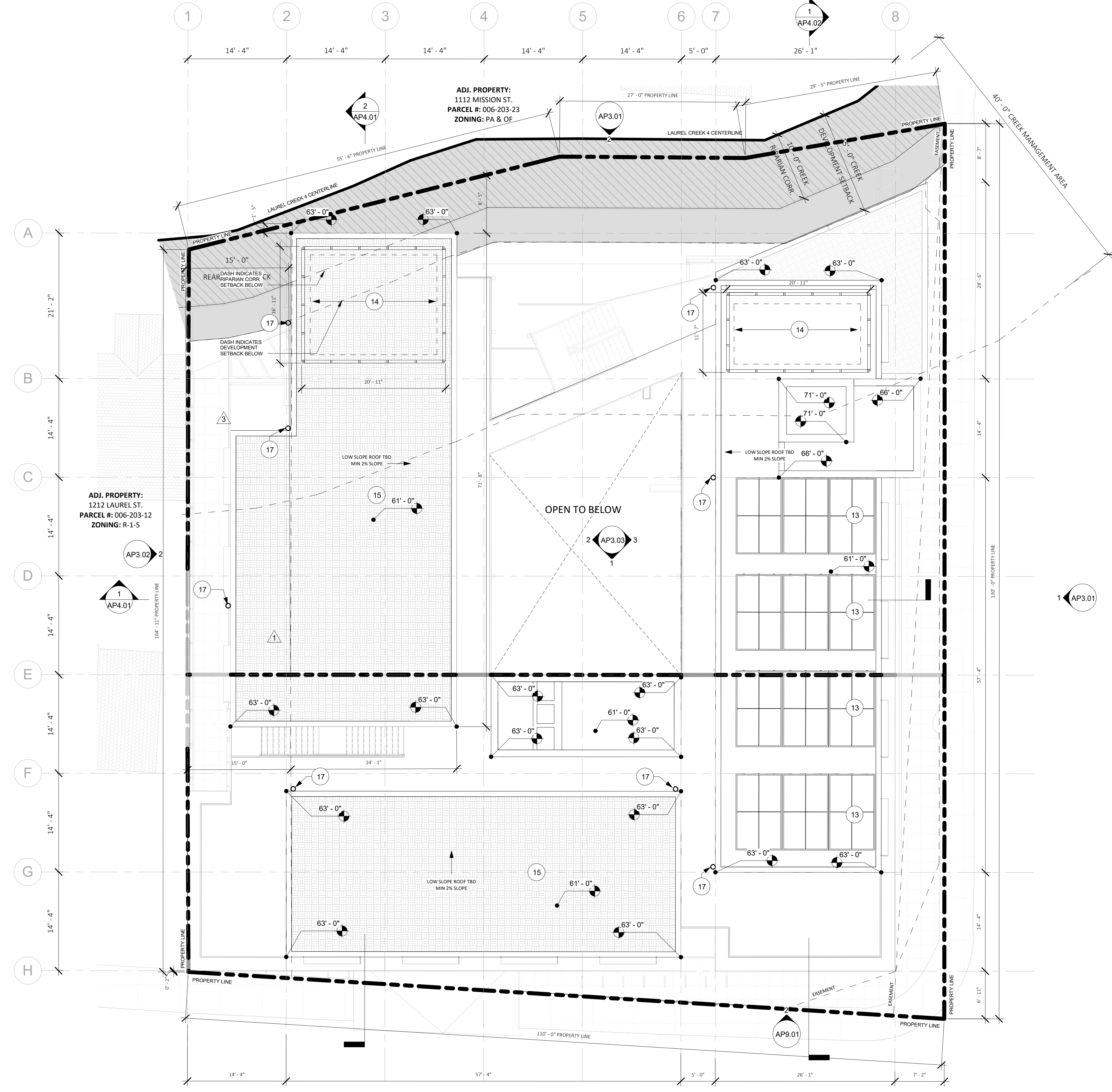
20 - TRIPLE STORAGE LOCKERS 60 SPACES

**TOTAL RESIDENTIAL WASHER/DRYERS PROVIDED:** 6 WASHERS, 6 DRYERS

1 WASHER / DRYER REQUIRED PER 20 UNITS: 3 WASHERS, 3 DRYERS

**TOTAL COMMON INDOOR SPACE PROVIDED:** SEE GP0.04 FOR TOTAL COMMON INDOOR SPACE

**TOTAL COMMON OUTDOOR SPACE PROVIDED:** SEE GP0.04 FOR TOTAL COMMON OUTDOOR SPACE



1 PROPOSED ROOF PLAN  
1/8" = 1'-0"



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**PROPOSED ELEVATIONS**  
**AP3.01**

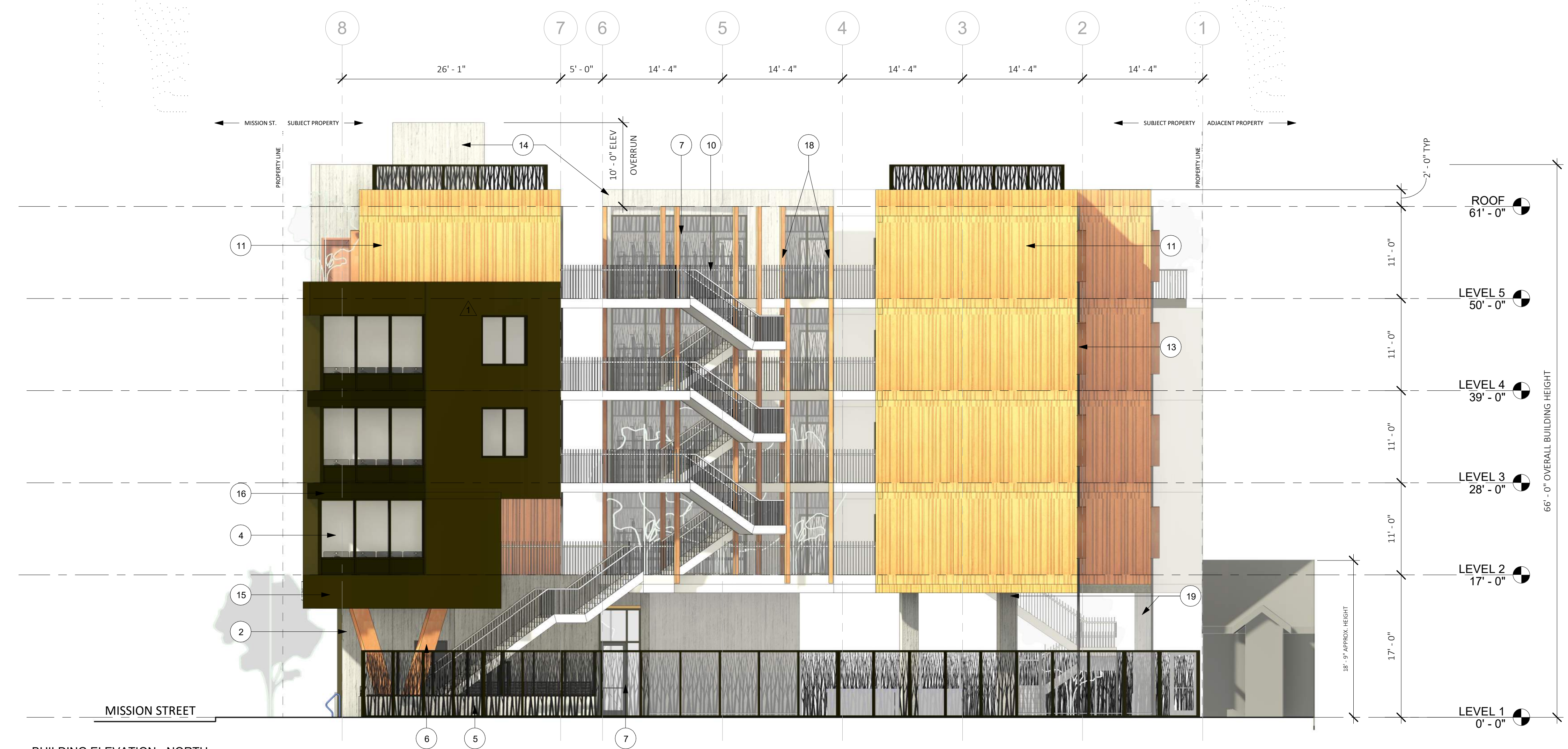
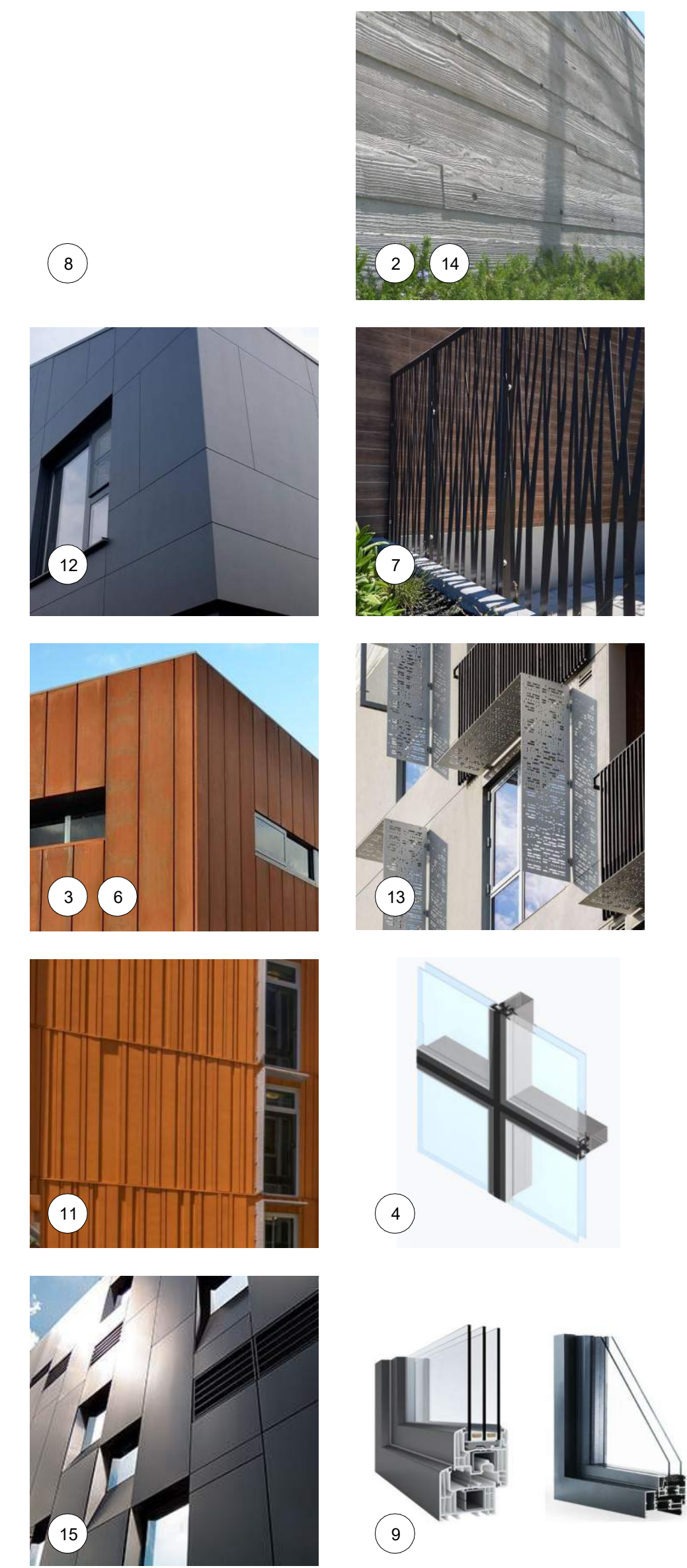
**ELEVATIONS GENERAL NOTES**

- PROPERTY LINES ARE SHOWN RELATIVE TO THE ELEVATION, REFER TO PLAN DRAWINGS FOR MORE INFORMATION ON PROPERTY LINE LOCATIONS AND DIMENSIONS.
- CURBS AND STREETS ARE SHOWN RELATIVE TO THE ELEVATION VIEW, REFER TO LAND SURVEY FOR EXISTING CURB, GUTTER, AND STREET INFORMATION.

**ELEVATION KEYED NOTES**

ELEVATION KEYED NOTES	
KEYNOTE	MATERIAL
1	ALIGN
2	TEXTURED CONCRETE, BOARD FORMED OR SIM.
3	METAL PANEL, CORTEN FINISH OR SIM.
4	GLAZED ALUMINUM WINDOW SYSTEM OR SIM.
5	BUILT-IN PLANTER, FINISH TO MATCH TEXTURED CONCRETE OR SIM.
6	RAINSCREEN CLAD STRUCTURAL MEMBERS
7	PATTERNED METAL FENCE / GATE / SCREEN OR SIM.
8	WHITE FIBER CEMENT PANEL OR STUCCO OR SIM.
9	ALUMINUM OR VINYL WINDOW
10	METAL GUARDRAIL OR HANDRAIL
11	TEXTURED FIBER CEMENT PANE OR SIM.
12	GREY FIBER CEMENT PANEL OR STUCCO OR SIM.
13	METAL SUNSHADE
14	TEXTURED CONCRETE LOOK FIBER CEMENT PANEL OR SIM.
15	WARM BRONZE TONED METAL PANEL OR SIM.
16	DARK BRONZE METAL PANEL / SPANDREL PANEL OR SIM.
17	BUILDING SIGNAGE, FINAL LOCATION / DESIGN TBD
18	EXTERIOR WALKWAY AND SUPPORT STRUCTURE
19	STRUCTURAL COLUMN, CONCRETE FINISH OR SIM.
20	PAINTED MURAL ON BUILDING FINISH, FINAL ARTWORK / ARTIST TBD
21	DOWNSPOUTS ROUTE TO FLOW-THROUGH PLANTER, REF CIVIL

**MATERIALS LEGEND**



② BUILDING ELEVATION - NORTH  
1/8" = 1'-0"



① BUILDING ELEVATION - EAST  
1/8" = 1'-0"



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**1130 & 1132 MISSION**  
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ISSUES/ REVISIONS		
Issue	DESCRIPTION	DATE
	SB330 PRE-APPLICATION	01.09.2023
0	PLANNING APPLICATION	06.01.2023
1	PLANNING REV-01	08.25.2023
2	PLANNING REV-02	01.04.2024
3	PLANNING REV-03	03.11.2024
APN number		006-203-25
Project number		21128
Print Date		01.09.2023
Drawn by		OH
Checked by		EB
Scale		As indicated

PROPOSED ELEVATIONS  
**AP3.02**

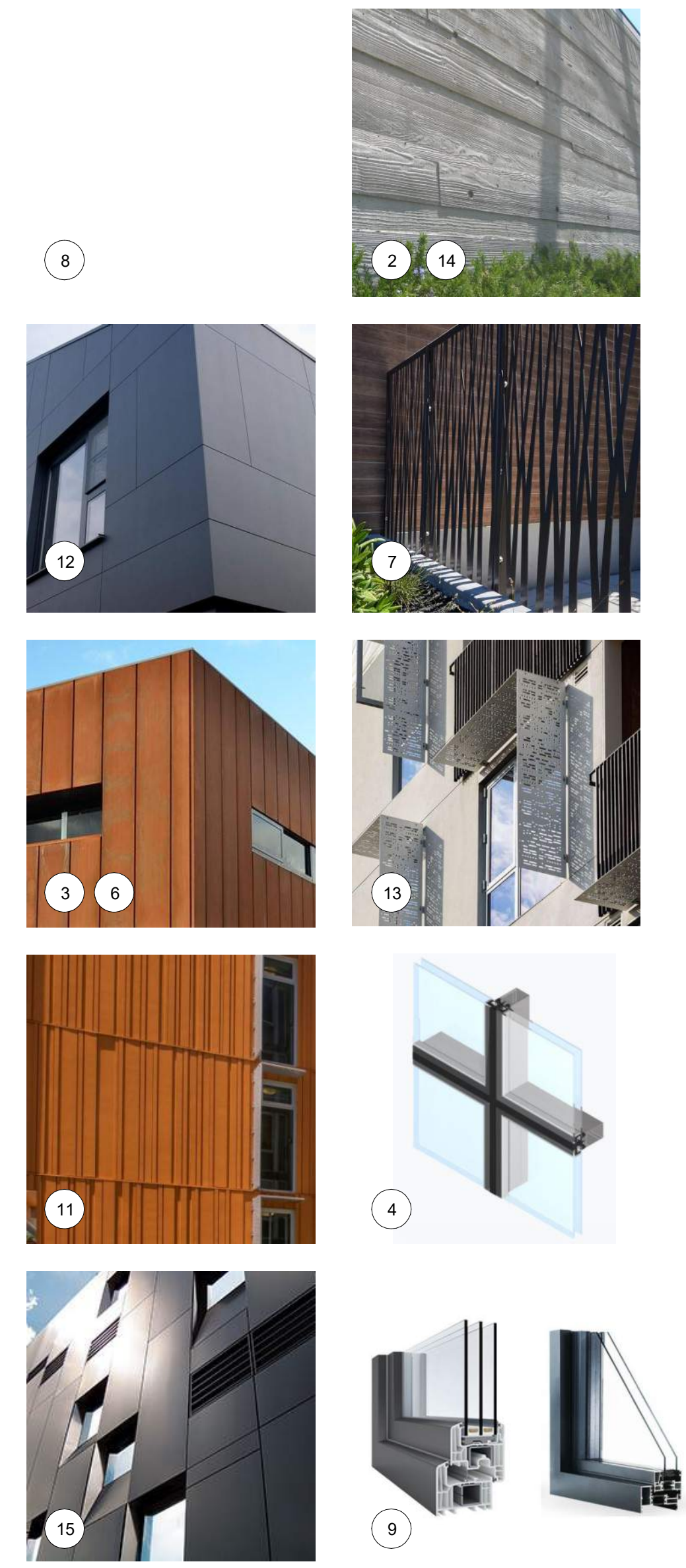
**ELEVATIONS GENERAL NOTES**

- PROPERTY LINES ARE SHOWN RELATIVE TO THE ELEVATION, REFER TO PLAN DRAWINGS FOR MORE INFORMATION ON PROPERTY LINE LOCATIONS AND DIMENSIONS.
- CURBS AND STREETS ARE SHOWN RELATIVE TO THE ELEVATION VIEW, REFER TO LAND SURVEY FOR EXISTING CURB, GUTTER, AND STREET INFORMATION.

**ELEVATION KEYED NOTES**

ELEVATION KEYED NOTES	
KEYNOTE	MATERIAL
1	ALIGN
2	TEXTURED CONCRETE, BOARD FORMED OR SIM.
3	METAL PANEL, CORTEN FINISH OR SIM.
4	GLAZED ALUMINUM WINDOW SYSTEM OR SIM.
5	BUILT-IN PLANTER, FINISH TO MATCH TEXTURED CONCRETE OR SIM.
6	RAINSCREEN CLAD STRUCTURAL MEMBERS
7	PATTERNED METAL FENCE / GATE / SCREEN OR SIM.
8	WHITE FIBER CEMENT PANEL OR STUCCO OR SIM.
9	ALUMINUM OR VINYL WINDOW
10	METAL GUARDRAIL OR HANDRAIL
11	TEXTURED FIBER CEMENT PANE OR SIM.
12	GREY FIBER CEMENT PANEL OR STUCCO OR SIM.
13	METAL SUNSHADE
14	TEXTURED CONCRETE LOOK FIBER CEMENT PANEL OR SIM.
15	WARM BRONZE TONED METAL PANEL OR SIM.
16	DARK BRONZE METAL PANEL / SPANDREL PANEL OR SIM.
17	BUILDING SIGNAGE, FINAL LOCATION / DESIGN TBD
18	EXTERIOR WALKWAY AND SUPPORT STRUCTURE
19	STRUCTURAL COLUMN, CONCRETE FINISH OR SIM.
20	PAINTED MURAL ON BUILDING FINISH, FINAL ARTWORK / ARTIST TBD
21	DOWNSPOUTS ROUTE TO FLOW-THROUGH PLANTER, REF CIVIL

**MATERIALS LEGEND**



1 BUILDING ELEVATION - SOUTH  
1/8" = 1'-0"



2 BUILDING ELEVATION - WEST  
1/8" = 1'-0"



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PROPOSED ELEVATIONS  
**AP3.03**

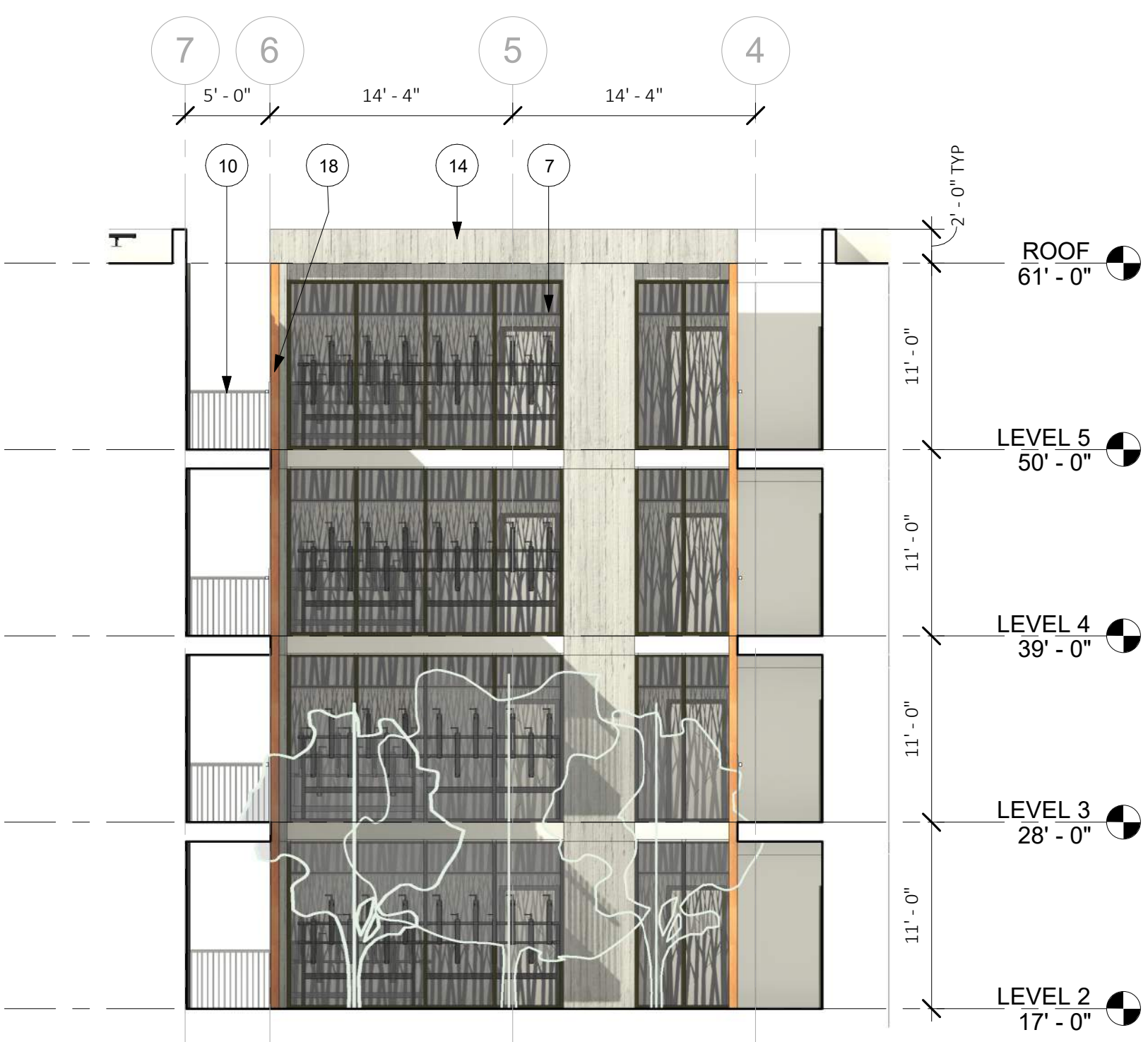
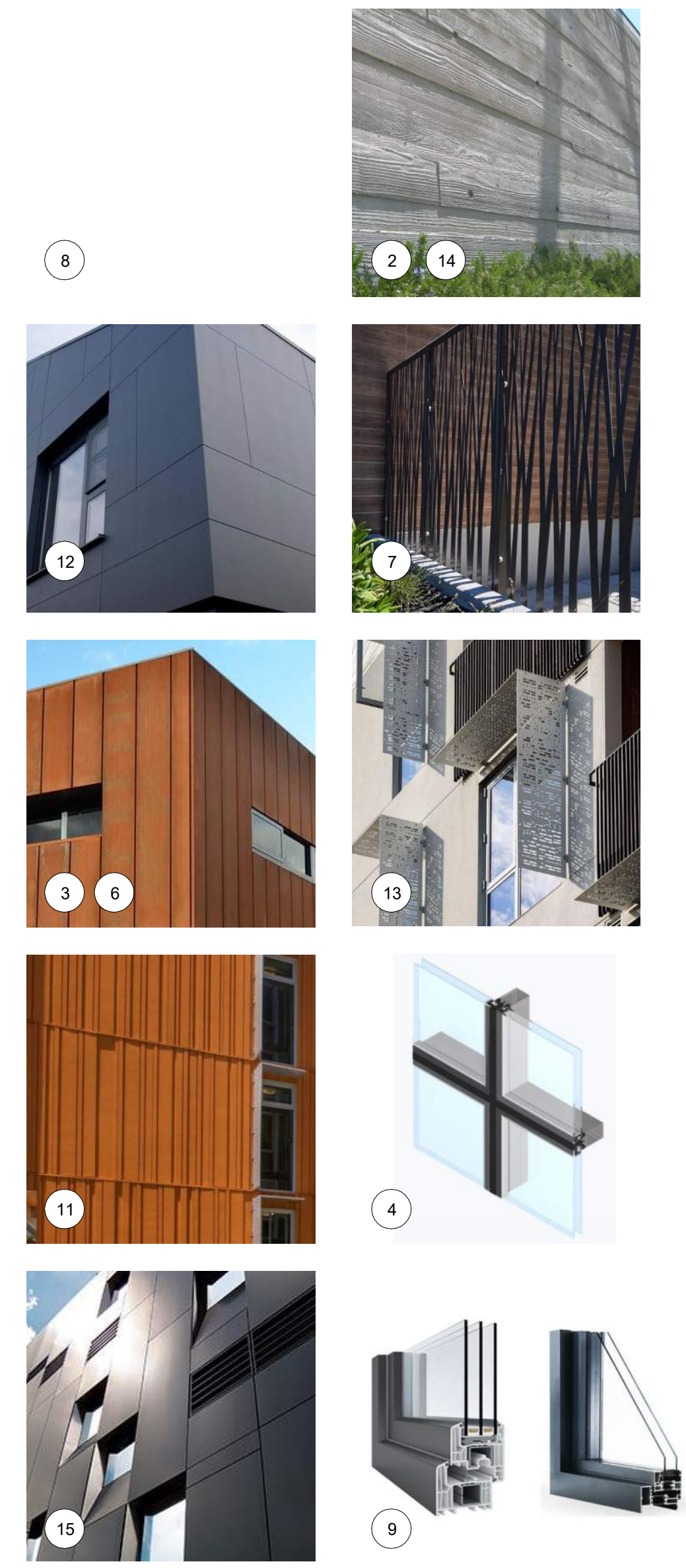
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**ELEVATION KEYED NOTES**

ELEVATION KEYED NOTES	
KEYNOTE	MATERIAL
1	ALIGN
2	TEXTURED CONCRETE, BOARD FORMED OR SIM.
3	METAL PANEL, CORTEN FINISH OR SIM.
4	GLAZED ALUMINUM WINDOW SYSTEM OR SIM.
5	BUILT-IN PLANTER, FINISH TO MATCH TEXTURED CONCRETE OR SIM.
6	RAINSCREEN CLAD STRUCTURAL MEMBERS
7	PATTERNED METAL FENCE / GATE / SCREEN OR SIM.
8	WHITE FIBER CEMENT PANEL OR STUCCO OR SIM.
9	ALUMINUM OR VINYL WINDOW
10	METAL GUARDRAIL OR HANDRAIL
11	TEXTURED FIBER CEMENT PANE OR SIM.
12	GREY FIBER CEMENT PANEL OR STUCCO OR SIM.
13	METAL SUNSHADE
14	TEXTURED CONCRETE LOOK FIBER CEMENT PANEL OR SIM.
15	WARM BRONZE TONED METAL PANEL OR SIM.
16	DARK BRONZE METAL PANEL / SPANDREL PANEL OR SIM.
17	BUILDING SIGNAGE, FINAL LOCATION / DESIGN TBD
18	EXTERIOR WALKWAY AND SUPPORT STRUCTURE
19	STRUCTURAL COLUMN, CONCRETE FINISH OR SIM.
20	PAINTED MURAL ON BUILDING FINISH, FINAL ARTWORK / ARTIST TBD
21	DOWNSPOUTS ROUTE TO FLOW-THROUGH PLANTER, REF CIVIL

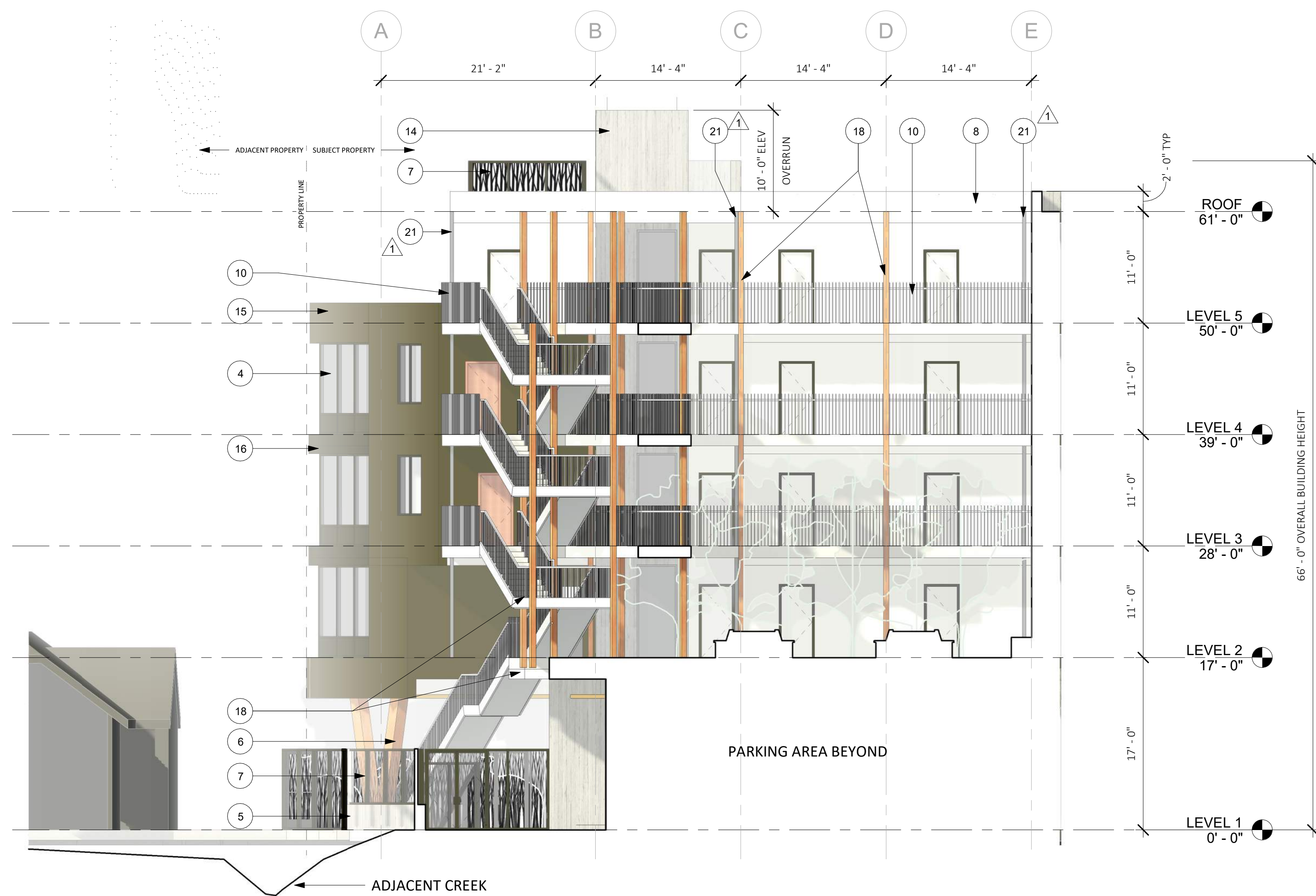
**MATERIALS LEGEND**



1 COURTYARD ELEVATION - NORTH  
1/8" = 1'-0"



2 COURTYARD ELEVATION - EAST  
1/8" = 1'-0"



3 COURTYARD ELEVATION - WEST  
1/8" = 1'-0"



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**BUILDING SECTIONS**  
**AP4.01**

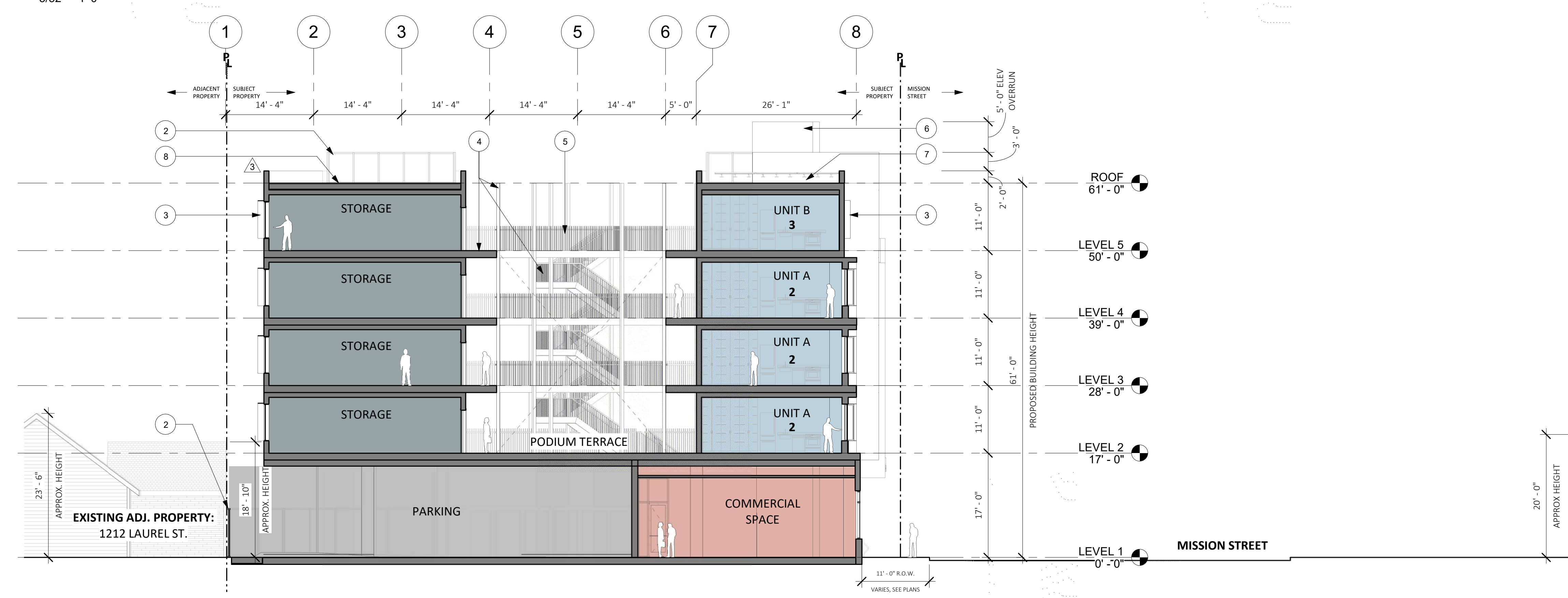
**BUILDING SECTION NOTES**

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- CURBS AND STREETS ARE SHOWN RELATIVE TO THE BUILDING SECTION VIEW, REFER TO LAND SURVEY, CIVIL AND LANDSCAPE DRAWINGS FOR EXISTING CURB, GUTTER, AND STREET INFORMATION.

**BUILDING SECTION KEYED NOTES**

BUILDING SECTION KEYED NOTES	
KEYNOTE	MATERIAL
1	ALIGN
2	PATTERNED METAL FENCE / GATE / SCREEN OR SIM.
3	METAL SUNSHADE
4	EXTERIOR CIRCULATION AND SUPPORT STRUCTURE
5	METAL GUARDRAIL / HANDRAIL
6	ELEVATOR OVERRUN
7	SOLAR PHOTOVOLTAIC PANELS
8	VEGETATED ROOF, TRAY SYSTEM OR SIM, REF ROOF PLANS
9	CLASS II BICYCLE PARKING
10	RAINSCREEN CLAD STRUCTURAL MEMBERS
11	BUILDING SIGNAGE, FINAL LOCATION / DESIGN TBD
12	BUILT-IN PLANTER, FINISH TO MATCH TEXTURED CONCRETE OR SIM.
13	FLOW-THROUGH STORMWATER PLANTER, REF CIVIL

- COMMERCIAL
- PARKING
- RESIDENTIAL - 1
- SERVICE



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Scale	As indicated

**BUILDING SECTIONS**  
**AP4.02**

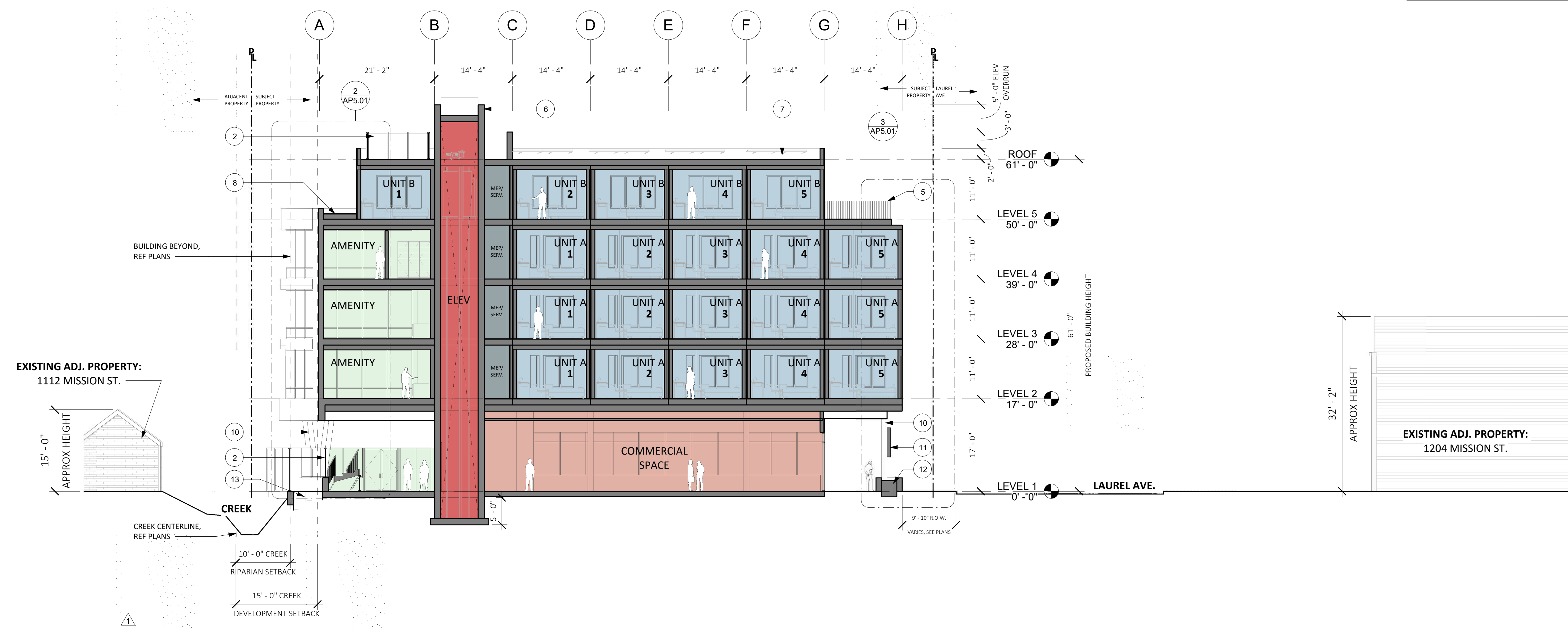
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**BUILDING SECTION KEYED NOTES**

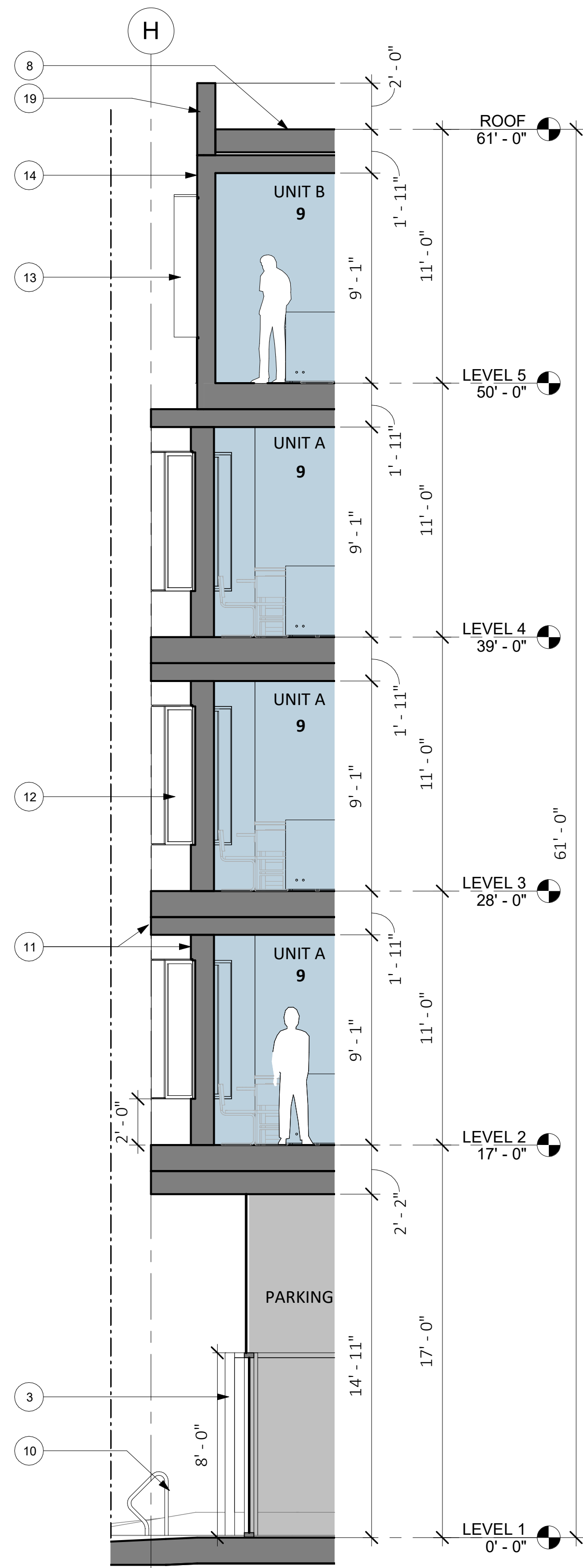
BUILDING SECTION KEYED NOTES	
KEYNOTE	MATERIAL
1	ALIGN
2	PATTERNED METAL FENCE / GATE / SCREEN OR SIM.
3	METAL SUNSHADE
4	EXTERIOR CIRCULATION AND SUPPORT STRUCTURE
5	METAL GUARDRAIL / HANDRAIL
6	ELEVATOR OVERRUN
7	SOLAR PHOTOVOLTAIC PANELS
8	VEGETATED ROOF, TRAY SYSTEM OR SIM, REF ROOF PLANS
9	CLASS II BICYCLE PARKING
10	RAINSCREEN CLAD STRUCTURAL MEMBERS
11	BUILDING SIGNAGE, FINAL LOCATION / DESIGN TBD
12	BUILT-IN PLANTER, FINISH TO MATCH TEXTURED CONCRETE OR SIM.
13	FLOW-THROUGH STORMWATER PLANTER, REF CIVIL

- AMENITY
- COMMERCIAL
- RESIDENTIAL - 1
- SERVICE
- VERTICAL CIRCULATION

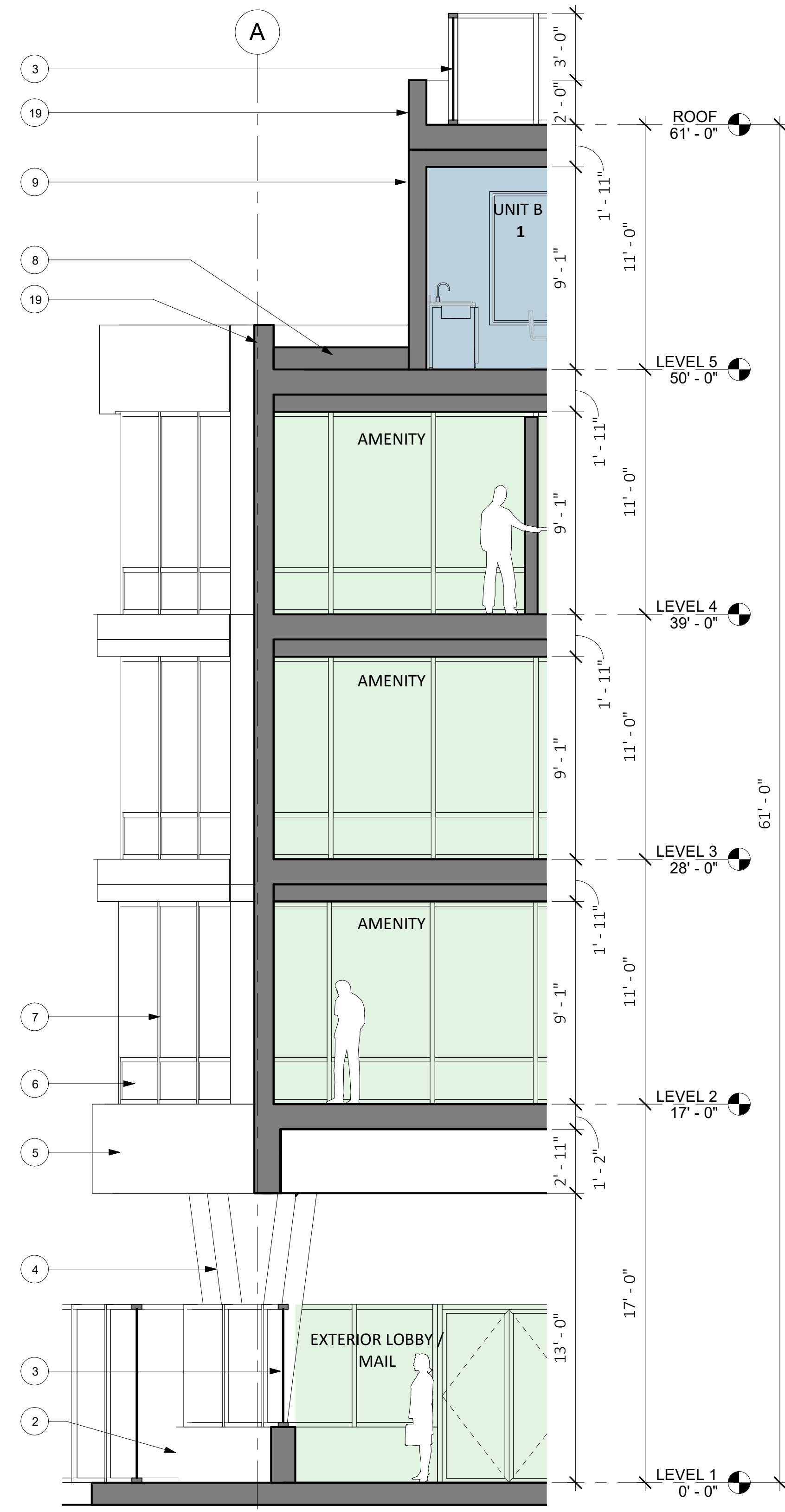


SECTION 3  
3/32" = 1'-0"

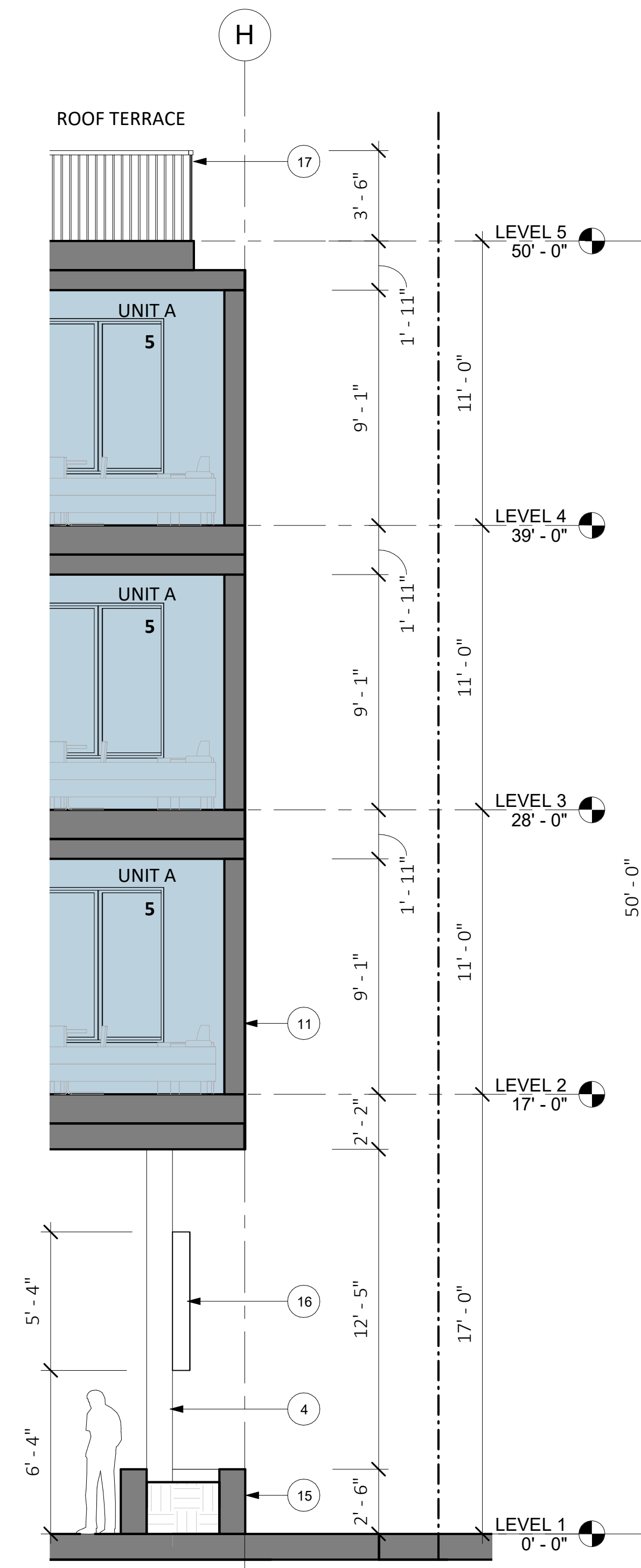
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1 SOUTH FACADE WALL SECTION-A  
1/4" = 1'-0"



2 NORTH FACADE WALL SECTION  
1/4" = 1'-0"



3 SOUTH FACADE WALL SECTION-B  
1/4" = 1'-0"

### WALL SECTION GENERAL NOTES

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- CURBS AND STREETS ARE SHOWN RELATIVE TO THE WALL SECTION VIEW, REFER TO LAND SURVEY, CIVIL AND LANDSCAPE DRAWINGS FOR EXISTING CURB, GUTTER, AND STREET INFORMATION.

### WALL SECTION KEYED NOTES

WALL SECTION KEYED NOTES	
KEYNOTE	MATERIAL
1	ALIGN
2	TEXTURED CONCRETE, BOARD FORMED OR SIM.
3	PATTERNED METAL FENCE / GATE / SCREEN OR SIM.
4	RAINSCREEN CLAD STRUCTURAL MEMBERS
5	WARM BRONZE TONED METAL PANEL OR SIM.
6	WARM BRONZE TONED METAL PANEL OR SIM.
7	GLAZED ALUMINUM WINDOW SYSTEM OR SIM.
8	VEGETATED ROOF, TRAY SYSTEM OR SIM.
9	TEXTURED FIBER CEMENT PANE OR SIM.
10	CLASS II BICYCLE PARKING
11	WHITE FIBER CEMENT PANEL OR STUCCO OR SIM.
12	ALUMINUM OR VINYL WINDOW
13	METAL SUNSHADE
14	GREY FIBER CEMENT PANEL OR STUCCO OR SIM.
15	BUILT-IN PLANTER, FINISH TO MATCH TEXTURED CONCRETE OR SIM.
16	BUILDING SIGNAGE, FINAL LOCATION / DESIGN TBD
17	METAL GUARDRAIL OR HANDRAIL
18	PLANTER / PLANTER BENCH
19	PARAPET

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#### ISSUES/ REVISIONS

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APN number	006-203-25
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Drawn by	MB
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Scale	1/4" = 1'-0"

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#### ENLARGED WALL SECTIONS

**AP5.01**



# PROPOSED RESIDENT STORAGE SOLUTIONS



SINGLE STORAGE LOCKER



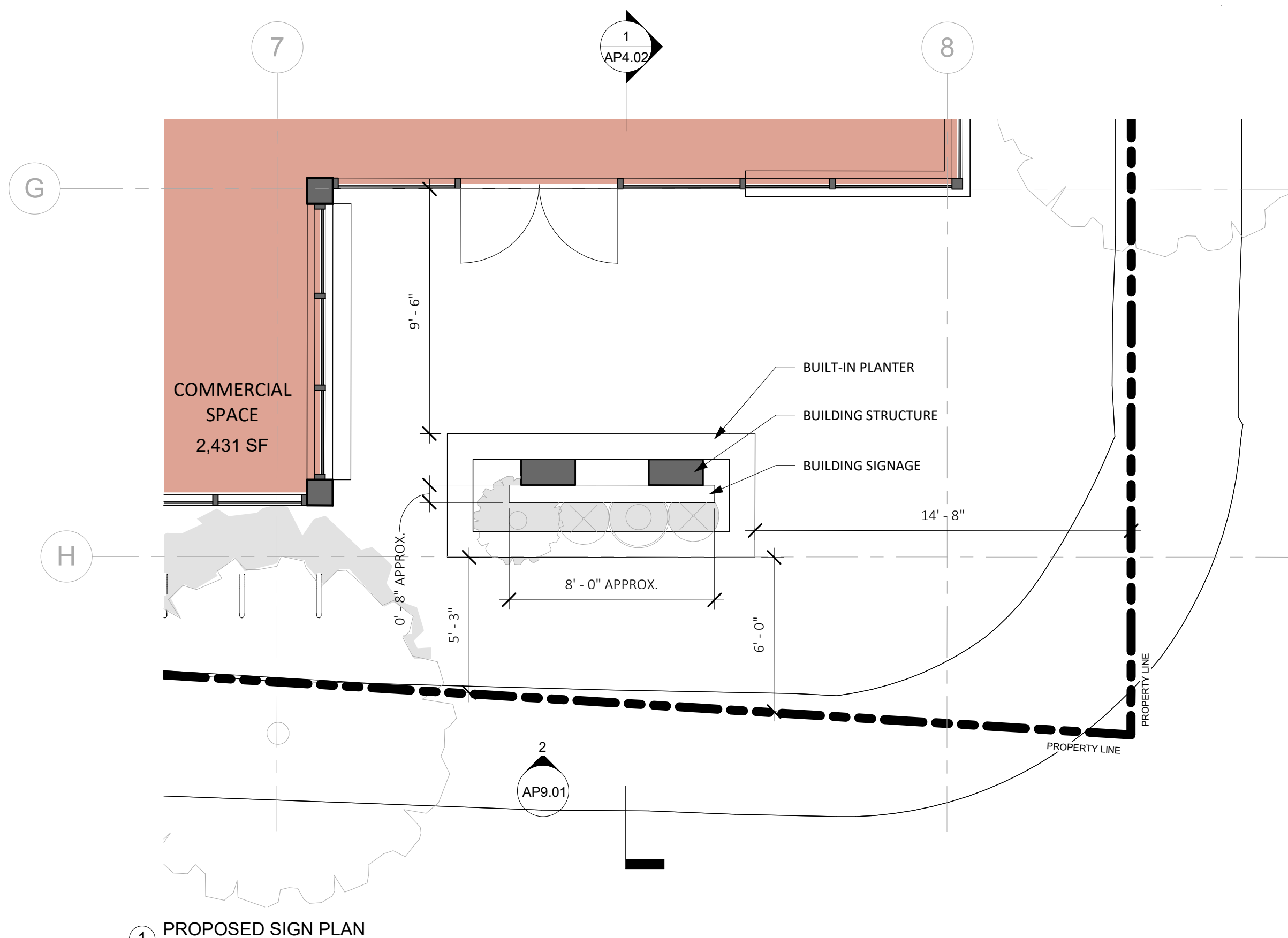
DOUBLE STORAGE LOCKER



TRIPLE STORAGE LOCKER



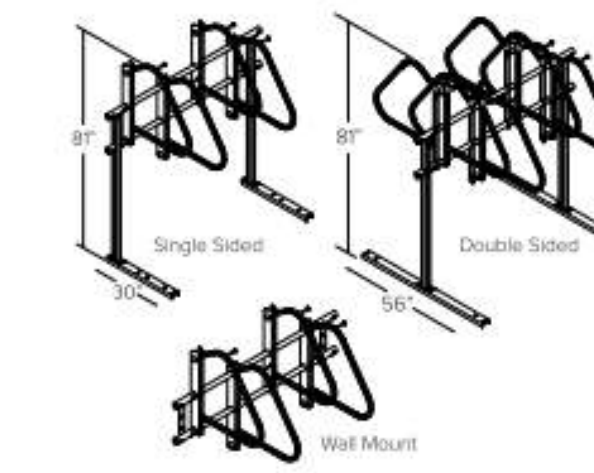
2 PROPOSED BUILDING SIGNAGE ELEVATION  
1/4" = 1'-0"



1 PROPOSED SIGN PLAN  
1/4" = 1'-0"

# PROPOSED CLASS-I BICYCLE PARKING

DERO Ultra Space Saver Squared Submittal Sheet



**CAPACITY** Modular construction  
1 bike per arm

**MATERIALS** Hanger: 1" square tube with steel slider head with tamperproof locking bolts.  
Upright: 2" square tube.  
Feet: 401 C3 x 41 galvanized steel channel.  
Crossbeams: 2" sched. 40 galvanized pipe.

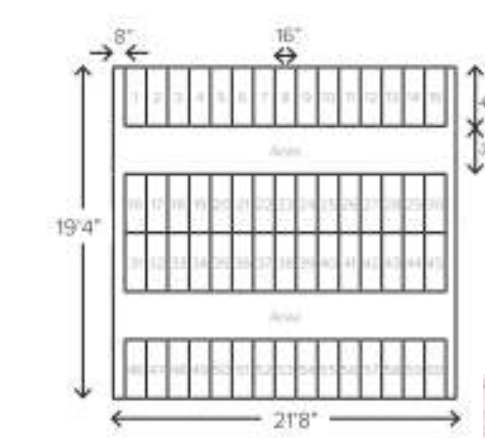
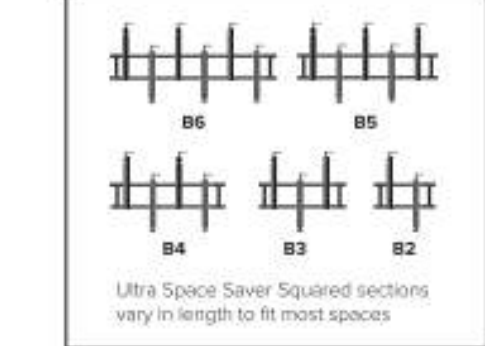
**FINISHES**  **Black Powder Coat (Interior Use)**  
Our interior powder coat finish assures a high level of adhesion and durability for indoor use by following these steps:  
1. Sandblast.  
2. Final thick TGIC polyester powder coat.

**Black Powder Coat (Exterior Use) Additional Cost**  
Our exterior powder coat finish assures a high level of adhesion and durability for outdoor or exposed air use by following these steps:  
1. Sandblast.  
2. Epoxy primer electrostatically applied.  
3. Final thick TGIC polyester powder coat.

**MOUNT OPTIONS**  **Floor mount**  
Ultra Space Saver Squared have steel channel feet (30" for single sided and 56" for double sided units) which must be anchored to the floor.

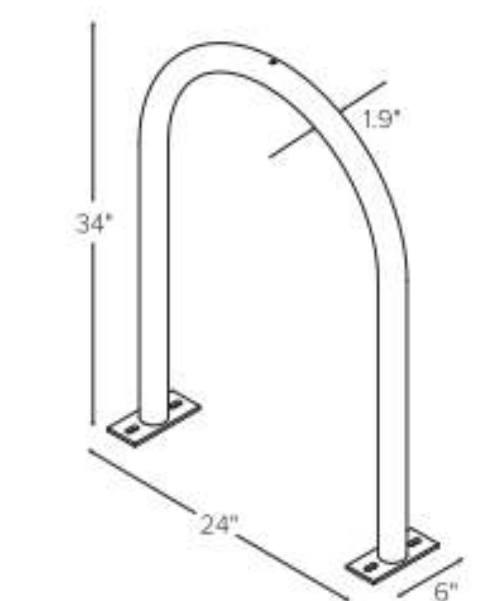
**Wall mount**  
A wall mounted unit which contains special brackets is also available for CMU or solid concrete walls. Cannot be used on sheetrock without additional support.

**WHEEL STOPS**  **Include wheel stops**  
Optional wheel stops are available for an additional cost.



# PROPOSED CLASS-II BICYCLE PARKING

DERO Hoop Rack Submittal Sheet



**CAPACITY** 2 Bikes

**MATERIALS** 1 1/2" schedule 40 pipe (1.9" OD)

**FINISHES**  **Galvanized**  
An after fabrication hot dipped galvanized finish is our standard option.

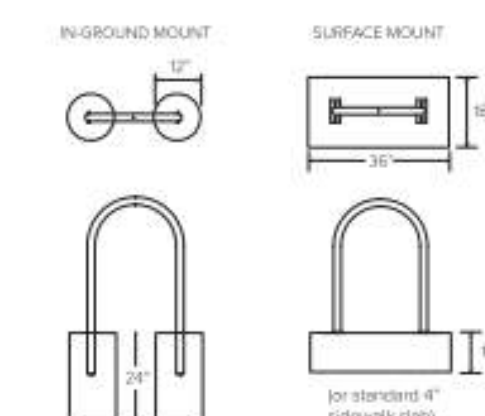
**Powder Coat**  
Our powder coat finish assures a high level of adhesion and durability by following these steps:  
1. Sandblast.  
2. Epoxy primer electrostatically applied.  
3. Final thick TGIC polyester powder coat.

**Stainless**  
Stainless Steel 304 grade stainless steel material finished in either a high polished shine or a satin finish.

**MOUNT OPTIONS**  **Surface**  
Foot Mount has two 2.5" x 6" x .25" feet with two anchors per foot. Specify foot mount for this option. Tamper-resistant fasteners available upon request.

**In-Ground**  
In-ground mount is embedded into concrete base. Specify in-ground mount for this option.

**Rail**  
Rail Mounted Downmount Racks are bolted to two parallel rails which can be left freestanding or anchored to the ground. Rails are heavy duty 3" x 1 1/4" x 3/16" thick galvanized mounting rails. Specify rail mount for this option.



**OPTIONAL LEAN BAR**  **Add Lean Bar**



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Scale NTS

CAR, EV, BICYCLE PARKING, & STORAGE INFO  
AP9.01